

5/21/2018 2:42:11 PM
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The floor plan of Level 2 shows various departments and a central lobby. A legend at the bottom indicates that areas with a light gray background are 'AREAS IN SCOPE FOR CONSIDERATION' and areas with diagonal hatching are 'AREAS IN SCOPE FOR FURNITURE'. The departments shown are MARKETING DEPARTMENT, FRANCE DEPARTMENT, ACCOUNTING DEPARTMENT, and LEVEL 2 LOBBY. A note at the bottom right states 'MARKETING DEPARTMENT 1 and 2 are in scope'.

	ELEVATION
	ROOM NUMBER
	DOOR NUMBER
	INTERIOR ELEVATION, REF A2.0
	PARTITION TYPE, REF A2.0
	ELECTRICAL DEVICE
	PHONE AND/OR DATA DEVICE
	KEYNOTE, REF A5.0
	CAN BE LETTERED OR NUMBERED, ATTACH TO CALLOUT ARROW

ITEM NO. 1 - PERFORM WORK IN COMPLIANCE WITH ALL CITY OF MESQUITE CODES, INCLUDING:

- A. 2012 INTERNATIONAL BUILDING CODES INCLUDING:
 - BULG. COMMERCIAL FIRE PROTECTION MANAGEMENT, PLUMBING, MECHANICAL & ENERGY COMPLIANCE
- B. 2014 NATIONAL ELECTRICAL CODE
- C. TEXAS ACCESSIBILITY STANDARDS - 2012
- D. TEXAS HEALTH CODE - 2004 EDITION

ITEM NO. 2 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND OBTAIN ALL PERMITS AND LICENSES, AND PAY ANY REQUIRED FEES.

ITEM NO. 3 - DIMENSIONS: ALL PLAN DIMENSIONS ARE FROM FACE OF FINISH UNLESS NOTED OR SHOWN OTHERWISE.

ITEM NO. 4 - NO EXPOSED STUDS WILL BE PERMITTED IN AREAS ACCESSIBLE TO THE PUBLIC REGARDLESS OF LOCATION.

ITEM NO. 5 - ALL GYPSUM BOARD SHALL BE TAPED, BEDDED AND SANDED AND HAVE ALL HOLES AND VOIDS SEALED, UNLESS NOTED OTHERWISE ON DRAWINGS.

ITEM NO. 6 - CONDUNIT IS NOT TO BE EXPOSED IN ANY PUBLIC SPACES WHEREVER POSSIBLE. COORDINATE WRING OF ALL DEVICES TO MOUNT FLUSH AGAINST WALLS. CONDUNIT MAY RUN EXPOSED IN MECHANICAL SPACES AND AT EXPOSED CEILING ONLY.

ITEM NO. 7 - ALL PENETRATIONS OF PIPES, CONDUTS, DUCTS, VENTS, ETC. SHALL BE TIGHTLY SEALED TO PREVENT PASSAGE OF SMOKE AND FIRE COMMENSURATE WITH THE RATINGS OF THE PARTITION (WALL).

ITEM NO. 8 - MATERIAL OR FINISHES NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION AND TO FACILITATE INTERPRETATION OF THE DRAWINGS. THE CONTRACTOR SHALL FURNISH OTHER MATERIALS, ACCESSORIES AND/OR FINISHES AS REQUIRED TO COMPLETE THE WORK.

ITEM NO. 9 - CONTRACTOR SHALL, IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CUTTING, PATCHING, REPAIRING, RESTORING, AND THE LIKE NECESSARY TO COMPLETE THE WORK AND TO RESTORE ANY DAMAGED OR AFFECTED SURFACES RESULTING FROM THE WORK OF THESE CONTRACTS TO A FINISHED CONDITION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.

ITEM NO. 10 - ALL MATERIALS AND FINISHES USED ON THIS PROJECT SHALL BE NEW AND UNUSED.

ITEM NO. 11 - CEILING HEIGHTS NOTED ON DRAWINGS ARE FROM FINISH FLOOR TO CEILING, UNLESS NOTED OTHERWISE.

ITEM NO. 12 - FOR SIZE AND LOCATION OF ALL OPENINGS AND FOR MECHANICAL DUCTWORK AND PLUMBING, VIEW IN FIELD.

ITEM NO. 13 - WHERE FACTORY FINISHED OR FACTORY PRIMAED ITEMS, SUCH AS GRILLES, DIFFUSERS, METAL TRIM AND ACCESSORIES OCCUR, THEY SHALL BE PAINTED TO MATCH EXISTING.

ITEM NO. 14 - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE AND AFFECT THIS VERIFICATION TO STARTING THE WORK, AND SHALL NOTIFY THE OWNER AND ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.

ITEM NO. 15 - THESE DRAWINGS ARE THE SOLE PROPERTY OF BRINKLEY SARGENT WIGINGTON ARCHITECTS. THE USE OR RE-USE OF THESE DRAWINGS IS HEREBY RESTRICTED TO THE ORIGINAL SITE, FOR WHICH THEY WERE PREPARED. REPRODUCTION OF THESE DRAWINGS, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS HEREBY PROHIBITED. COPYRIGHT BRINKLEY SARGENT ARCHITECTS 2018.

ITEM NO. 16 - THESE DRAWINGS CONTAIN PROPRIETARY INFORMATION AND INTELLECTUAL AND INDUS. COPIES THAT ARE THE PROPERTY OF BRINKLEY SARGENT WIGINGTON ARCHITECTS (BSW). COPIES SHALL BE MADE WITHOUT APPROVAL. THESE DRAWINGS SHALL NOT BE USED BY ANY PARTY FOR ANY OTHER PURPOSE THAN THE PURPOSE INTENDED WITHOUT THE EXPRESS WRITTEN PERMISSION OF BSW.

SHEET NO.		DRAWING TITLE		ROOM NO.
COVER		COVER SHEET		05/24/11
ARCHITECTURAL				
A1.0	FLOOR PLAN			05/24/11
A2.0	PARTITION TYPES, DOORS & INTERIOR ELEVATIONS			05/24/11
A3.0	REFLECTED CEILING PLAN			05/24/11
A4.0	FINISH PLAN			05/24/11
A5.0	FURNITURE PLAN			05/24/11

CONSTRUCTION TYPE: TYPE 11-B
FULLY SPRINKLERED

OCCUPANCY: OFFICE (B)

SQUARE FOOTAGE: 2,322
(IN REMODEL SCOPE)

CITY OF MESQUITE
1515 NORTH GALLOWAY
MESQUITE, TX 75149

CITY OF MESQUITE
1515 NORTH GALLOWAY
MESQUITE, TX 75149

ARCHITECT & INTERIORS
BRINKLEY SARGENT WIGINTON ARCHITECTS
5000 QUORUM DRIVE, SUITE 600
DALLAS, TX 75254
972-960-9970
972-960-9751 - FAX

MESQUITE CITY HALL
FINANCE & ACCOUNTING REMODEL

757 N Galloway Ave. Mesquite, TX 75149

ISSUED FOR CONSTRUCTION

COVER SHEET

21807
05-24-201

CVR

SYMBOL	DESCRIPTION
1	EXISTING WALL
2	NEW WALL
3	EXISTING DOOR
4	NEW DOOR
5	EXISTING WINDOW
6	NEW WINDOW
7	EXISTING STAIR
8	NEW STAIR
9	EXISTING ELEVATOR
10	NEW ELEVATOR
11	EXISTING MECHANICAL
12	NEW MECHANICAL
13	EXISTING ELECTRICAL
14	NEW ELECTRICAL
15	EXISTING PLUMBING
16	NEW PLUMBING
17	EXISTING HVAC
18	NEW HVAC
19	EXISTING ROOF
20	NEW ROOF
21	EXISTING FLOOR
22	NEW FLOOR
23	EXISTING CEILING
24	NEW CEILING
25	EXISTING LIGHTING
26	NEW LIGHTING
27	EXISTING SOUNDTREATMENT
28	NEW SOUNDTREATMENT
29	EXISTING SIGNAGE
30	NEW SIGNAGE

GENERAL NOTES

1. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.

3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.

4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.

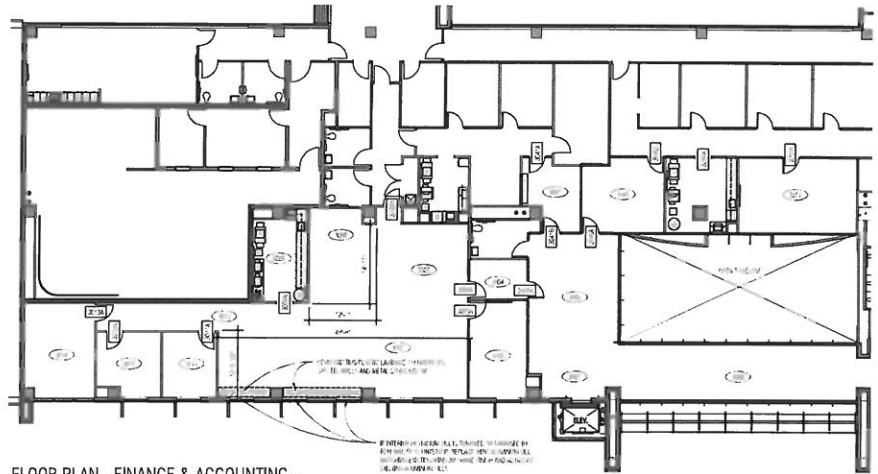
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED QUALITY STANDARDS.

7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SAFETY STANDARDS.

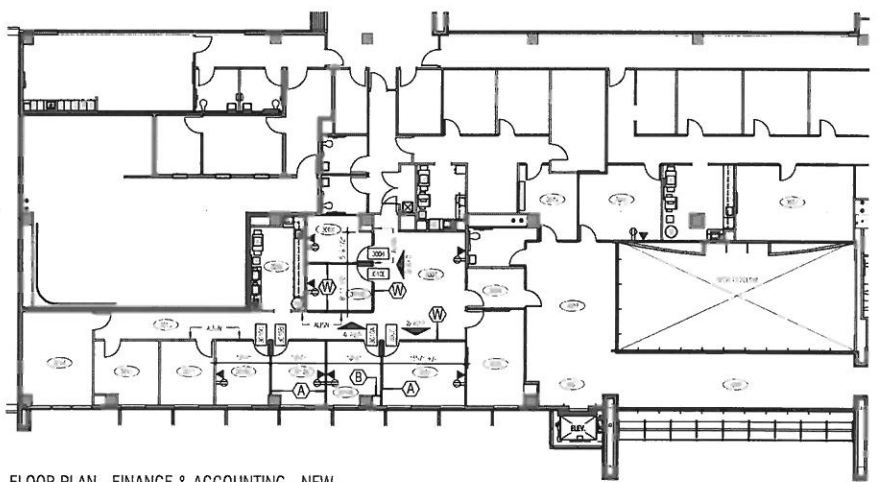
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENVIRONMENTAL STANDARDS.

9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ACCESSIBILITY STANDARDS.

10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED HISTORIC PRESERVATION STANDARDS.



FLOOR PLAN - FINANCE & ACCOUNTING - EXISTING
SCALE: 1/8" = 1'-0"



FLOOR PLAN - FINANCE & ACCOUNTING - NEW CONSTRUCTION
SCALE: 1/8" = 1'-0"

MESQUITE CITY HALL FINANCE & ACCOUNTING REMODEL

757 N Galloway Ave. Mesquite, TX 75149

BRINKLEY SARGENT WINTON ARCHITECTS

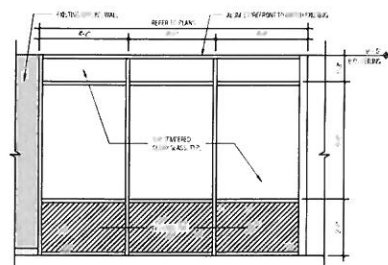
REVISION	DATE	DESCRIPTION

FLOOR PLAN

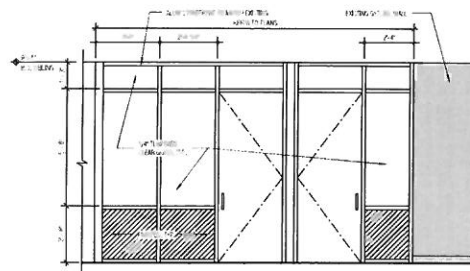
22607
05-24-2018

A1.0

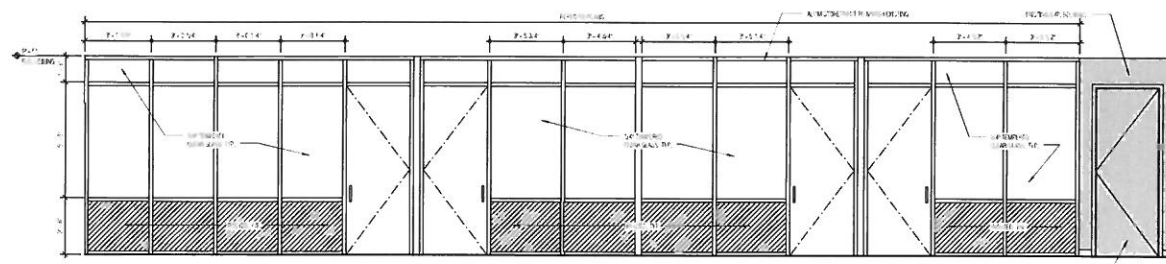
ISSUED FOR CONSTRUCTION



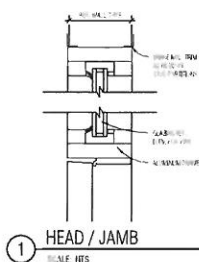
4 CORRIDOR 3013 NORTH
SCALE: 5/8" = 1'-0"



3 ACCOUNTING RECEPTION 3006 WEST
SCALE: 3/8" = 1'-0"

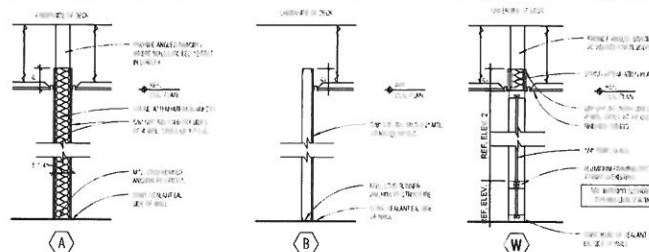


2 CORRIDOR 3013 SOUTH
SCALE: 3/8" = 1'-0"

[illegible]

1 HEAD / JAMB

PARTITION TYPES



MESQUITE CITY HALL
FINANCE & ACCOUNTING REMODEL

757 N Galloway Ave. Mesquite, TX 75149

ISSUED FOR CONSTRUCTION

BRINKLEY SARGENT WIGTON ARCHITECTS

REVISIONS		
#	DATE	DESCRIPTION

PARTITION TYPES, DOORS & INTERIOR ELEVATIONS

21807
05-24-2018

A2.0

DEMO LEGEND

-  REMOVE EXISTING AND RELOCATE
-  EXISTING EQUIPMENT TO REMAIN
-  EXISTING EQUIPMENT TO BE MOVED
-  EXISTING EQUIPMENT TO BE REPLACED

RCP DEMO NOTES

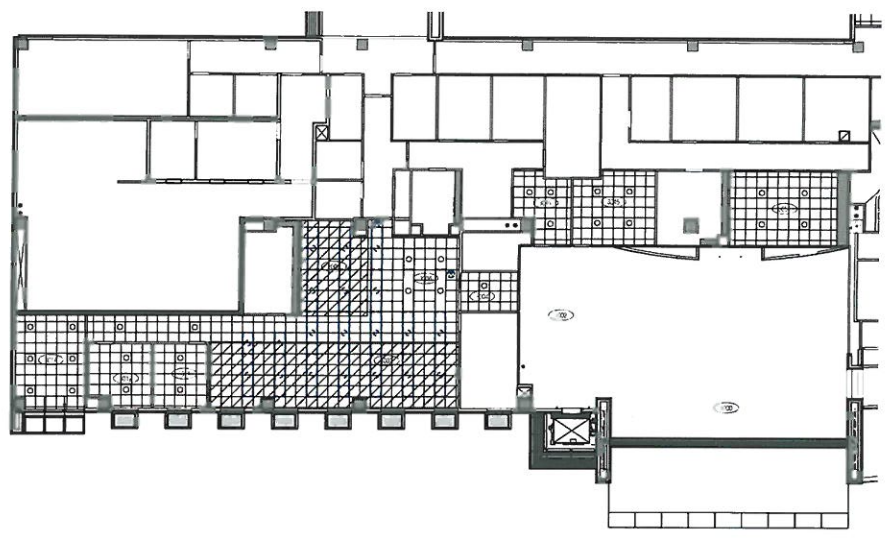
1. ALL EXISTING EQUIPMENT SHALL BE REMOVED AND RELOCATED TO THE NEW LOCATION. THE NEW LOCATION SHALL BE DETERMINED BY THE ARCHITECT. THE NEW LOCATION SHALL BE SHOWN ON THE RCP DEMO PLAN. THE NEW LOCATION SHALL BE SHOWN ON THE RCP DEMO PLAN. THE NEW LOCATION SHALL BE SHOWN ON THE RCP DEMO PLAN.

NEW CONSTRUCTION LEGEND

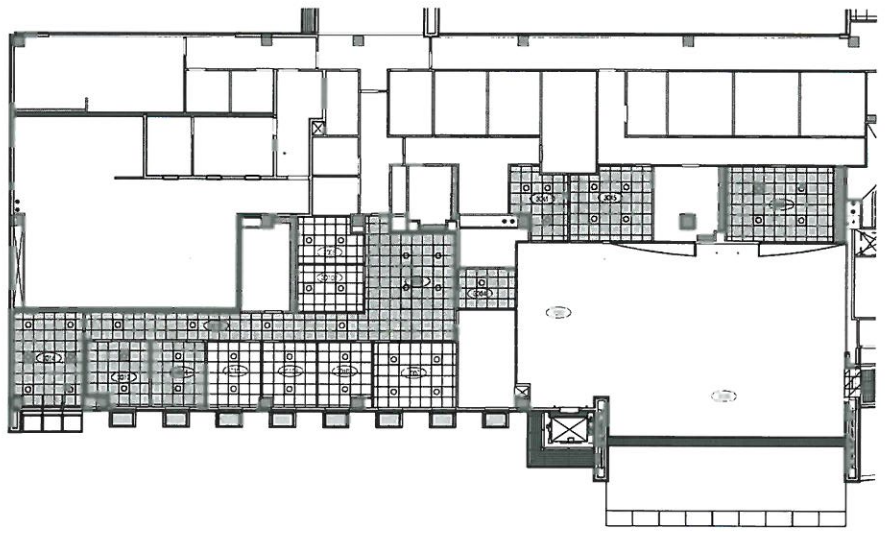
-  NEW FLOORING
-  NEW FLOORING
-  EXISTING EQUIPMENT TO REMAIN
-  EXISTING EQUIPMENT TO BE REPLACED
-  NEW EQUIPMENT TO BE INSTALLED

GENERAL NOTES

1. ALL NEW CONSTRUCTION SHALL BE SHOWN ON THE RCP NEW CONSTRUCTION PLAN. THE NEW CONSTRUCTION SHALL BE SHOWN ON THE RCP NEW CONSTRUCTION PLAN. THE NEW CONSTRUCTION SHALL BE SHOWN ON THE RCP NEW CONSTRUCTION PLAN.



1 RCP - EXISTING/ DEMO
SCALE: NTS
NORTH



2 RCP - NEW CONSTRUCTION
SCALE: NTS
NORTH

MESQUITE CITY HALL FINANCE & ACCOUNTING REMODEL

757 N Galloway Ave. Mesquite, TX 75149

ISSUED FOR CONSTRUCTION

REVISION	
#	DESCRIPTION

REFLECTED CEILING PLAN

21007
05-24-2018
A3.0

BRINKLEY SARGENT WIGGINTON ARCHITECTS, P.C.

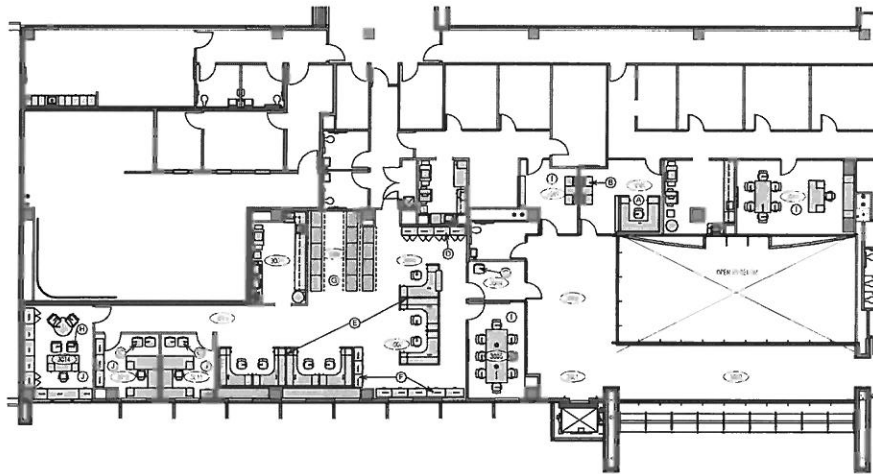
GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL, ELECTRICAL, AND PLUMBING (IMEP) CODES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE LULAC COUNTY SPECIFICATIONS FOR CONSTRUCTION.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE LULAC COUNTY SPECIFICATIONS FOR CONSTRUCTION.
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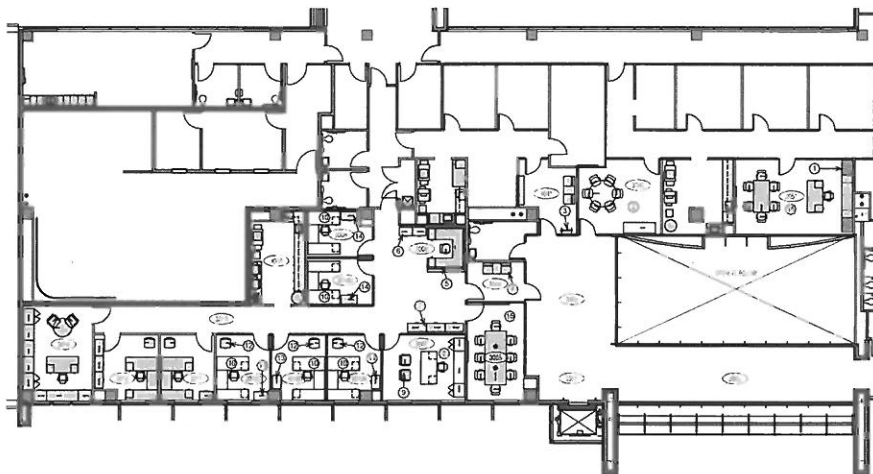
KEYNOTES

- EXISTING FURNITURE PLAN**
1. EXISTING FURNITURE SHALL BE REMOVED AND DISPOSED OF AS DIRECTED BY THE ARCHITECT.
 2. EXISTING FURNITURE SHALL BE REMOVED AND DISPOSED OF AS DIRECTED BY THE ARCHITECT.
 3. EXISTING FURNITURE SHALL BE REMOVED AND DISPOSED OF AS DIRECTED BY THE ARCHITECT.
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 9. EXISTING FURNITURE SHALL BE REMOVED AND DISPOSED OF AS DIRECTED BY THE ARCHITECT.
 10. EXISTING FURNITURE SHALL BE REMOVED AND DISPOSED OF AS DIRECTED BY THE ARCHITECT.

- NEW FURNITURE PLAN**
1. NEW FURNITURE SHALL BE INSTALLED AS SHOWN ON THIS PLAN.
 2. NEW FURNITURE SHALL BE INSTALLED AS SHOWN ON THIS PLAN.
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 10. NEW FURNITURE SHALL BE INSTALLED AS SHOWN ON THIS PLAN.



FURNITURE PLAN - EXISTING
SCALE: NTS



FURNITURE PLAN - NEW CONSTRUCTION
SCALE: NTS

MESQUITE CITY HALL FINANCE & ACCOUNTING REMODEL

757 N Galloway Ave. Mesquite, TX 75149

BRINKLEY SARGENT WIGGINTON ARCHITECTS

ISSUED FOR CONSTRUCTION

REVISIONS		
#	DATE	DESCRIPTION

FURNITURE PLAN

21857
05-24-2018
A5.0

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3. 下列各句中，没有语病的一句是（3分）
4. 下列各句中，没有语病的一句是（3分）
5. 下列各句中，没有语病的一句是（3分）

SCALE: NTS

SCALE: 3/32" = 1'-0"

BRINKLEY SARGENT WIGINTON ARCHITECTS