



THE
NEHEMIAH
COMPANY

THE NAVIGATING PRINCIPALS

SPRADLEY FARMS GUIDELINES | SEPTEMBER 2019

TOWNHOME PRODUCT TYPES: ALLEY ENTRY, ATTACHED GARAGE



TOWNHOMES: ALLEY ENTRY, ATTACHED GARAGE

Townhomes are attached housing types frequently used for transition between urban multi-family and single family lot areas. Each unit is located on a separate platted lot.

HOUSING TYPE ELEMENTS:

- Lot Area: 1,540 SF min.
- Lot Width: 22' min.
- Lot Depth: 70' min.
- Maximum Number of Stories: 3
- Garage Orientation: Alley
- Min./Max. Front Yard Setback: 16'
- Minimum Interior Side Yard Setback: 0'
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Rear Yard Setback: 5'
- Minimum Dwelling Unit Size: 1,100 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with Village Architect approval) when greater setback would be otherwise required.*

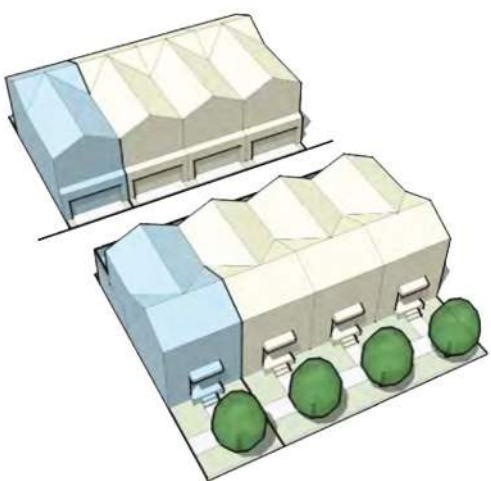
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback but in no event into the PDUCE)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges*

ARCHITECTURAL ELEMENTS:

- Columns at entries and porches shall have enhanced materials. Masonry or a combination of wood and masonry is acceptable.

**Subject to fire rating requirements of City of Mesquite*



View and Plan: Townhome with Attached Garage

TOWNHOMES: ALLEY ENTRY, DETACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 1,760 SF min.

Lot Width: 22' min.

Lot Depth: 80' min.

Maximum Number of Stories: 3

Garage Orientation: Alley

Min./Max. Front Yard Setback: 16' Back of curb

Minimum Interior Side Yard Setback: 0'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Minumum Dwelling Unit Size: 1,100 SF

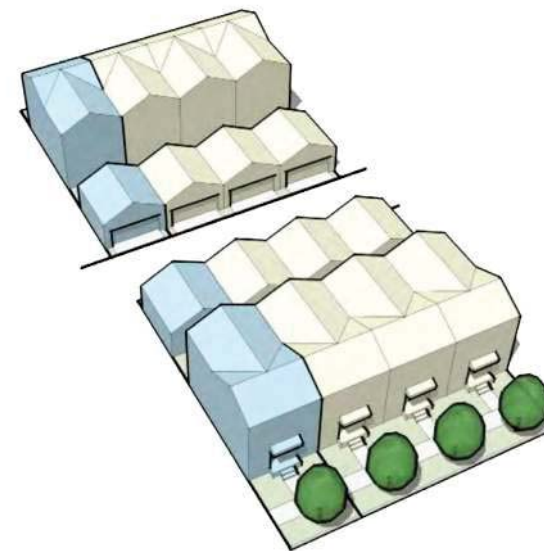
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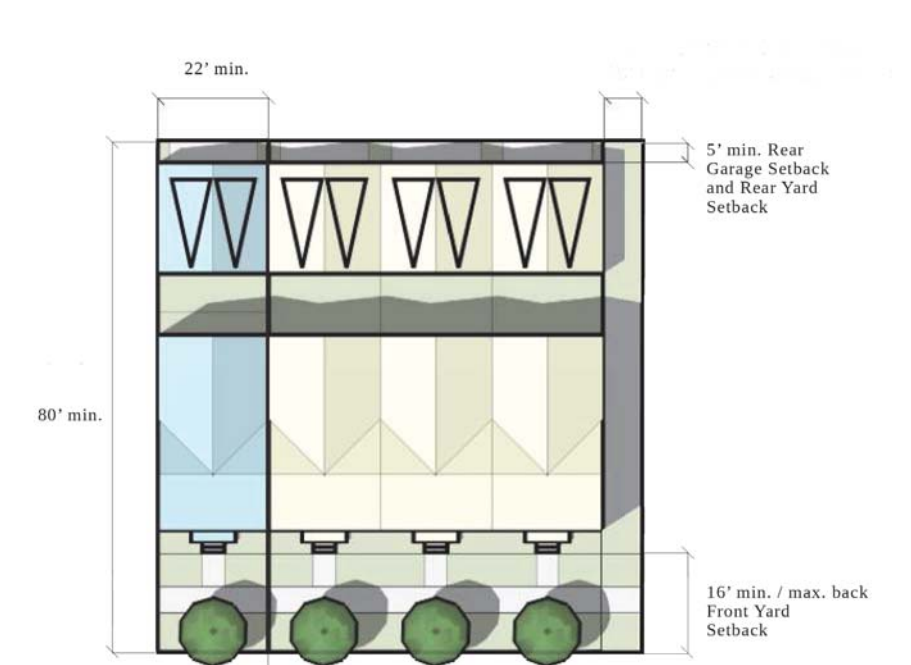
ALLOWED ENCROACHMENTS INTO SETBACK:

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- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges*

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View and Plan: Townhome with Detached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

VILLA HOME SITES: ALLEY ENTRY, ATTACHED GARAGE, DETACHED HOME

HOUSING TYPE ELEMENTS:

Lot Area: 1,980 SF min.

Lot Width: 33' min.

Lot Depth: 66'

Maximum Number of Stories: 3

Garage Orientation: Alley

Min./Max. Front Yard Setback: 13' Back of curb

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size: 1,200 SF

EXCEPTIONS TO MINIMUM SETBACK:

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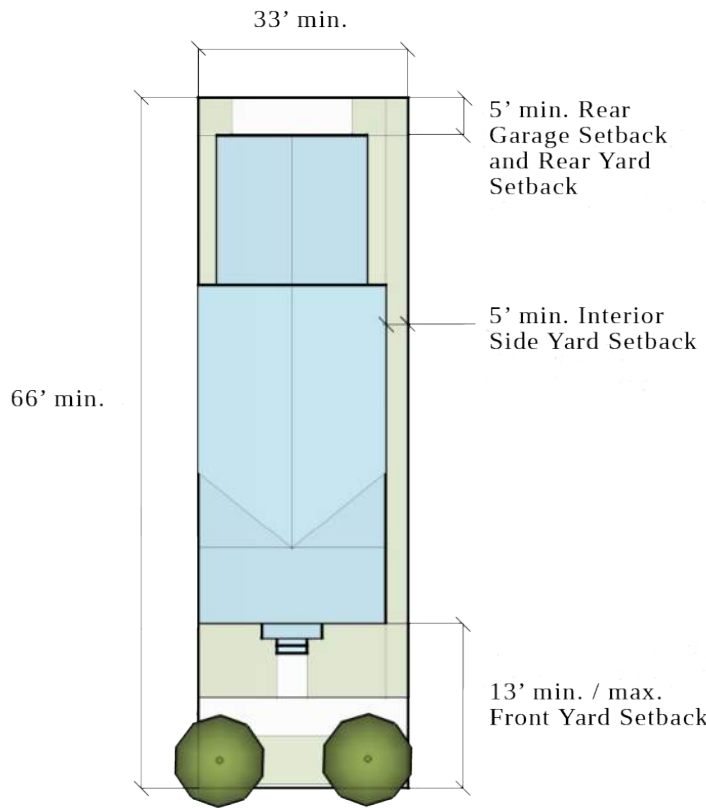
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches may not encroach front minimum front set back
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges*

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View and Plan: Villa Home Site



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GREEN COURT HOMES: ALLEY ENTRY



The Green Court Home site is a block type in which alley-fed, small lot single-family lots are arranged around a common green. The cluster, with its depth of not more than 150', should have at least one public street along the green. A common walkway along the green serves all lots. This type has been proven to be a very popular option, especially for young couples, young families, and empty nesters. The shared green provides safety for younger children and a park-like atmosphere in which to play without crossing any streets, and the court-facing homes allow for easy supervision by parents or community members. The homes face a common green space, parking must be accessed from rear alleys.

HOUSING TYPE ELEMENTS:

Lot Area: 1,980 SF min.

Lot Width: 30' min.

Lot Depth: 66' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: 3'

Minimum Interior Side Yard Setback: 3' except for Zero Lot Line Types where 7.5' min. side setback is required on one side and 0' on the other)

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

Minimum Dwelling Unit Size: 1,200 SF min.

EXCEPTIONS TO MINIMUM SETBACK:

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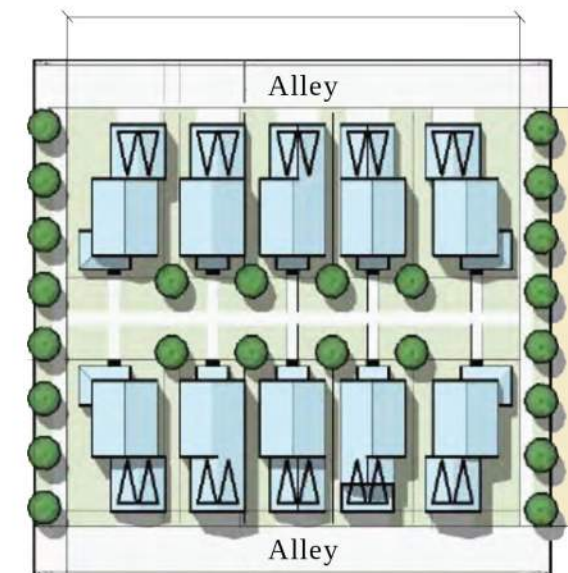
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4" - 6" are allowed for architectural details such as brick ledges*

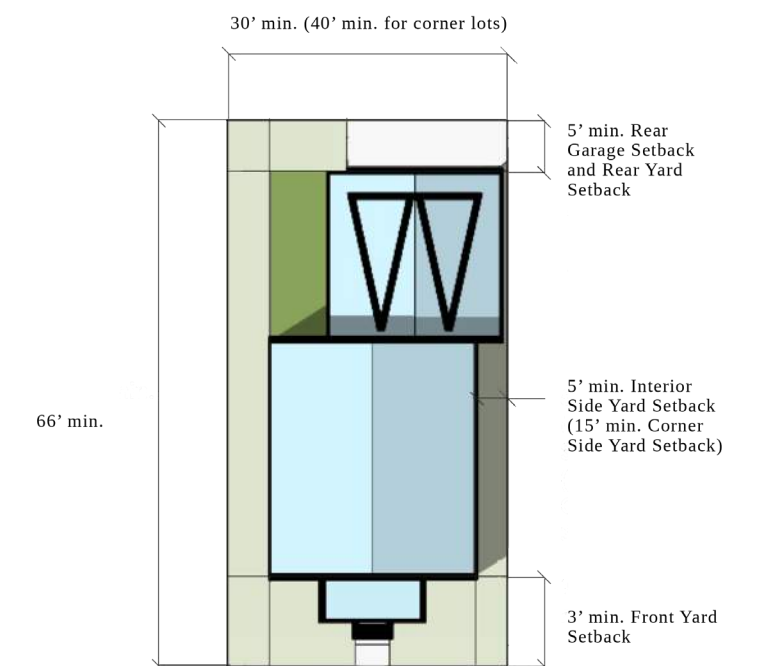
**Subject to fire rating requirements of City of Mesquite*



View and Plan: Green Court Homes



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



Plan: Individual Green Court Homes

**Rear setback may be reduced with additional off street parking*

ZERO CENTER PLOTTED HOME SITES: 40' ALLEY ENTRY, NO STREET

HOUSING TYPE ELEMENTS:

Lot Area: 4,000 SF min.

Lot Width: 40' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 5' min. side setback is required on one side and 3.5' on the other

Minimum Corner Side Yard Setback: 15'

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

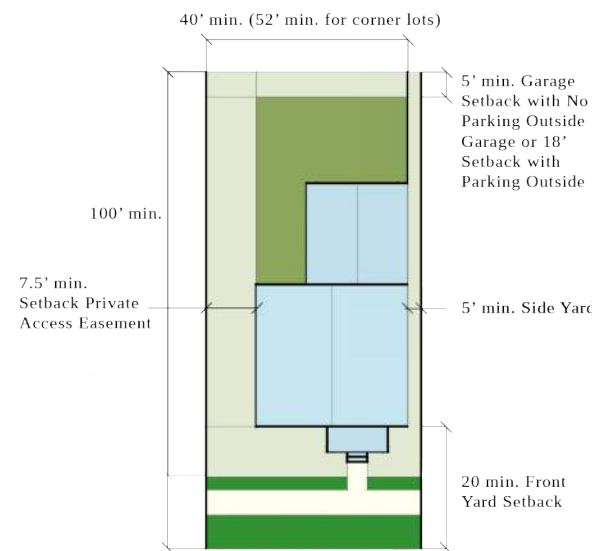
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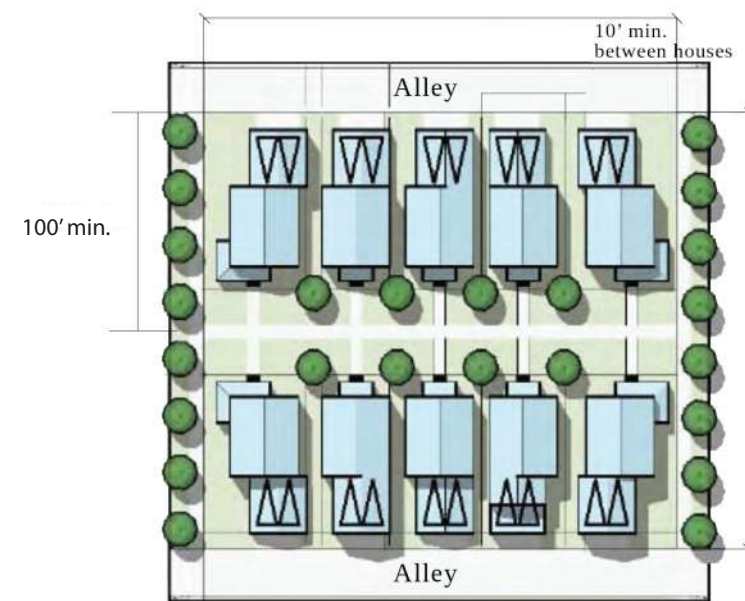
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges*

*Subject to fire rating requirements of City of Mesquite



Plan: Individual Zero Lot Line Home



View and Plan: Zero Lot Line Homes

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

ZERO CENTER PLOTTED HOME SITES: 45' ALLEY ENTRY, NO STREET

HOUSING TYPE ELEMENTS:

Lot Area: 4,500 SF min.

Lot Width: 45' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: 3'

Minimum Interior Side Yard Setback: 5' min. side setback

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

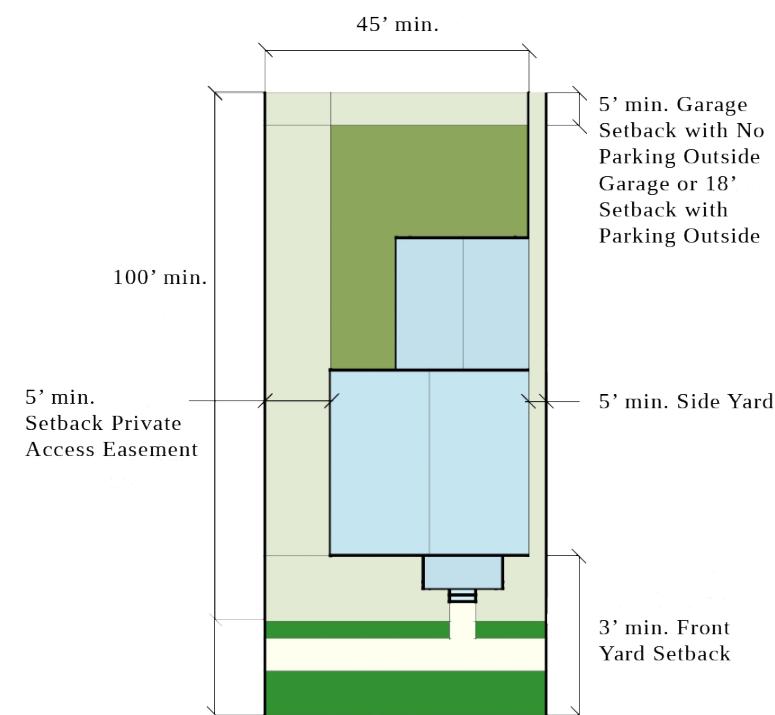
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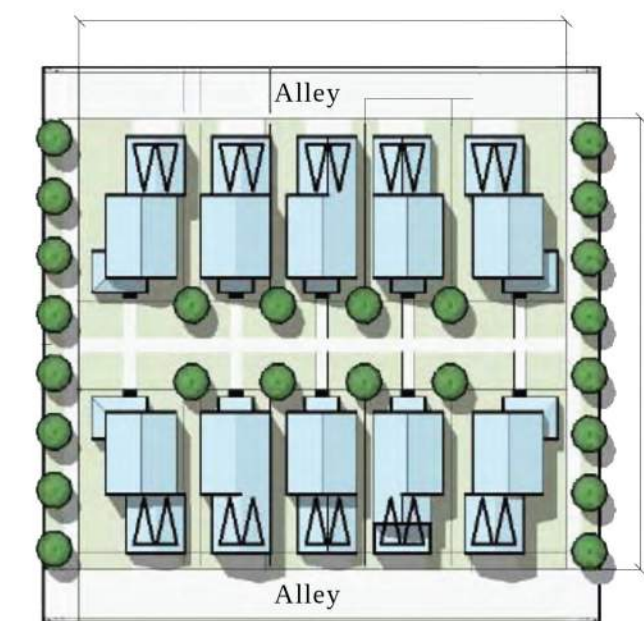
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback but in no event into the PDUCE)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4" - 6" are allowed for architectural details such as brick ledges*

**Subject to fire rating requirements of City of Mesquite*



Plan: Individual Zero Lot Line Home



View and Plan: Zero Lot Line Homes

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

ZERO LOT LINE HOME SITES: 45' ALLEY ENTRY, ATTACHED / DETACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 4,500 SF min.

Lot Width: 45' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: 13'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

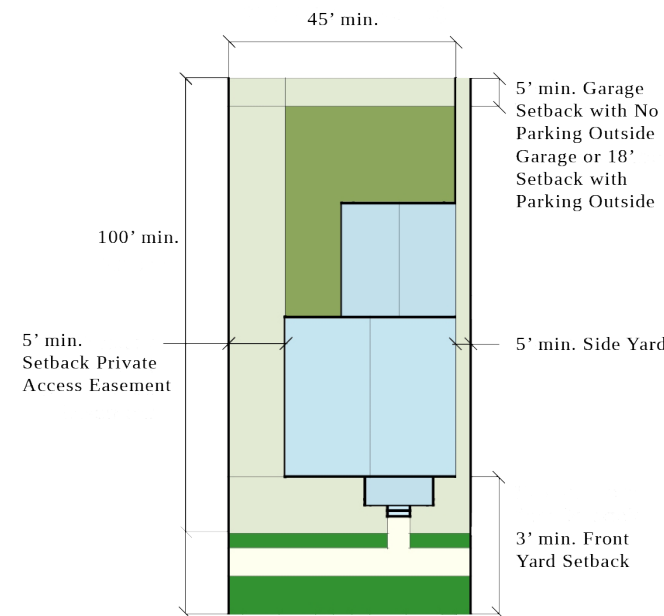
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with Village Architect's approval) when greater setback would otherwise be required.*

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches may not encroach into front setback and corner side yard setback
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4" - 6" are allowed for architectural details such as brick ledges*
- Any additional encroachments require prior developer approval

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Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

35' HOME SITES ALLEY ENTRY, ATTACHED GARAGE



The Cottage Homes appeal to individuals and families who desire single-family units with limited yard maintenance.

HOUSING TYPE ELEMENTS:

Lot Area: 3,150 SF min.

Lot Width: 35' min.

Lot Depth: 90' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: 19'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size: 1,250 SF min.

Maximum Lot Coverage: 80%

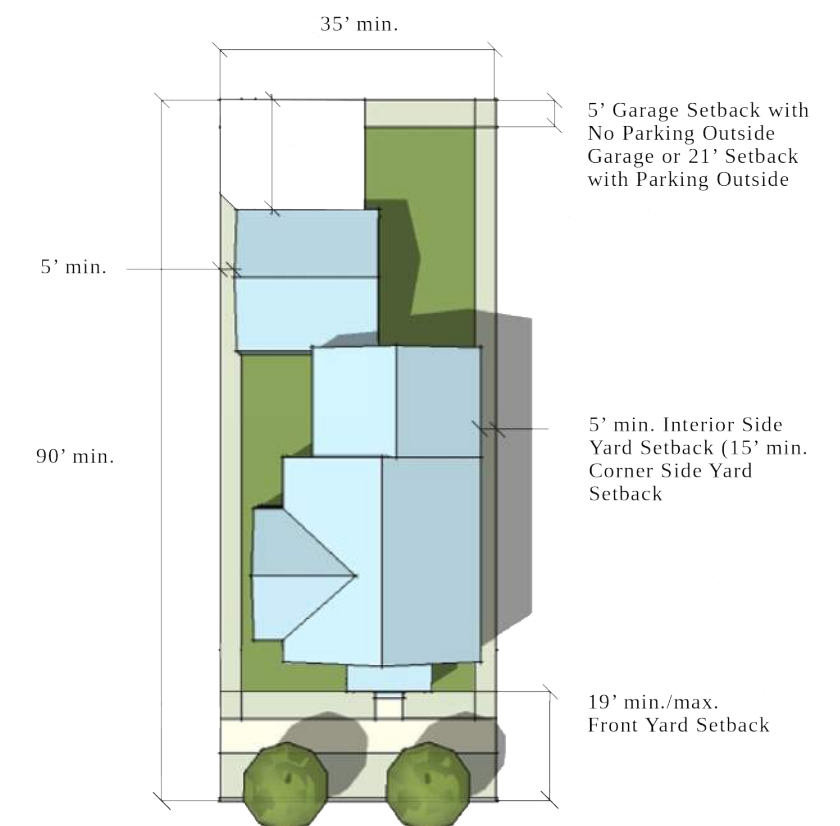
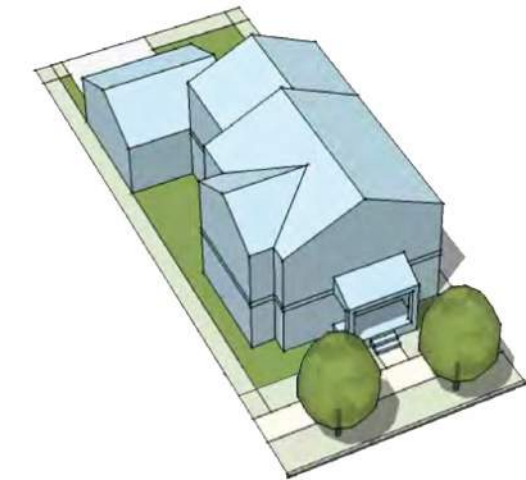
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with Village Architect approval) when greater setback would otherwise be required.*

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges.*

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40' HOME SITES: ALLEY ENTRY, ATTACHED GARAGE



HOUSING TYPE ELEMENTS:

- Lot Area: 4,000 SF min.
- Lot Width: 40' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 3
- Garage Orientation: Alley; min. 2 spaces
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setback is required on one side and 0' on the other)
- Minimum Corner Side Yard Setback: 15'
- Minimum Front Garage Setback for Side-Drive Lots: 18'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with Village Architect approval) when greater setback would be otherwise required.*

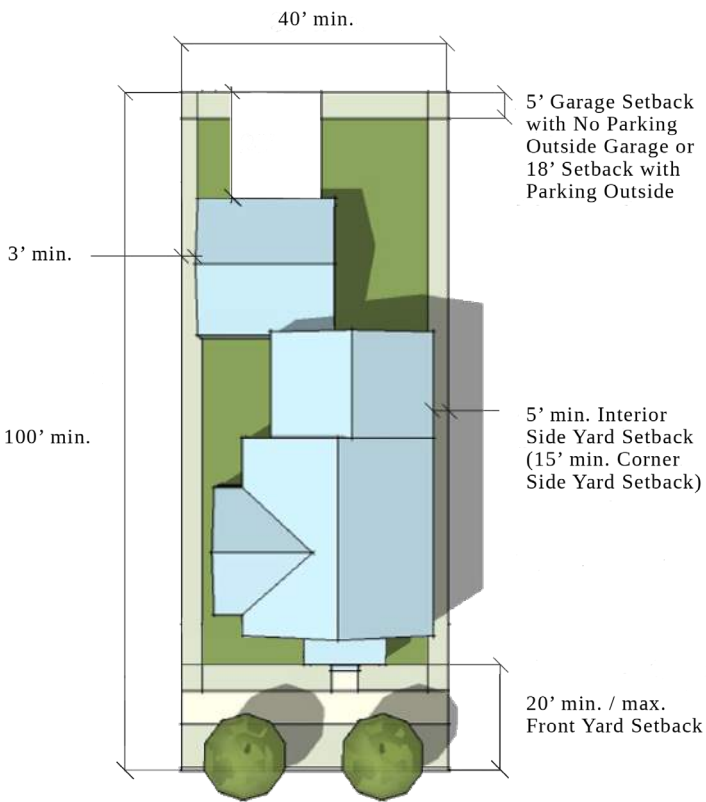
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback but in no event in the PDUCE)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4" - 6" are allowed for architectural details such as brick ledges.*

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View and Plan: Alley Drive 40' Home with Attached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

40' HOME SITES: ALLEY ENTRY, DETACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 4,000 SF min.

Lot Width: 40' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setback is required on one side and 0' on the other)

Minimum Corner Side Yard Setback: 15'

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

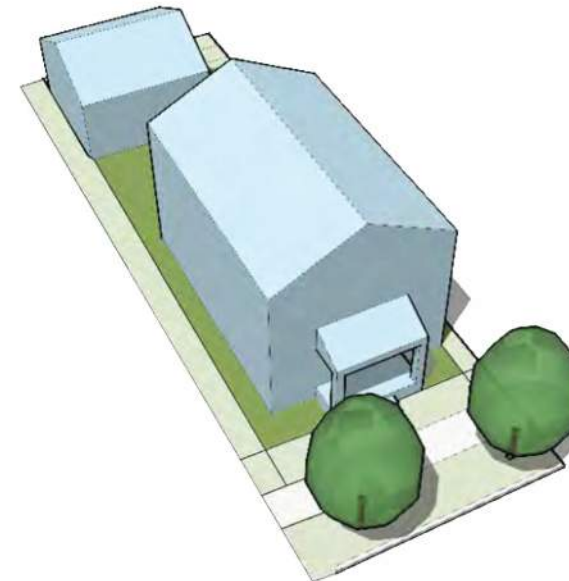
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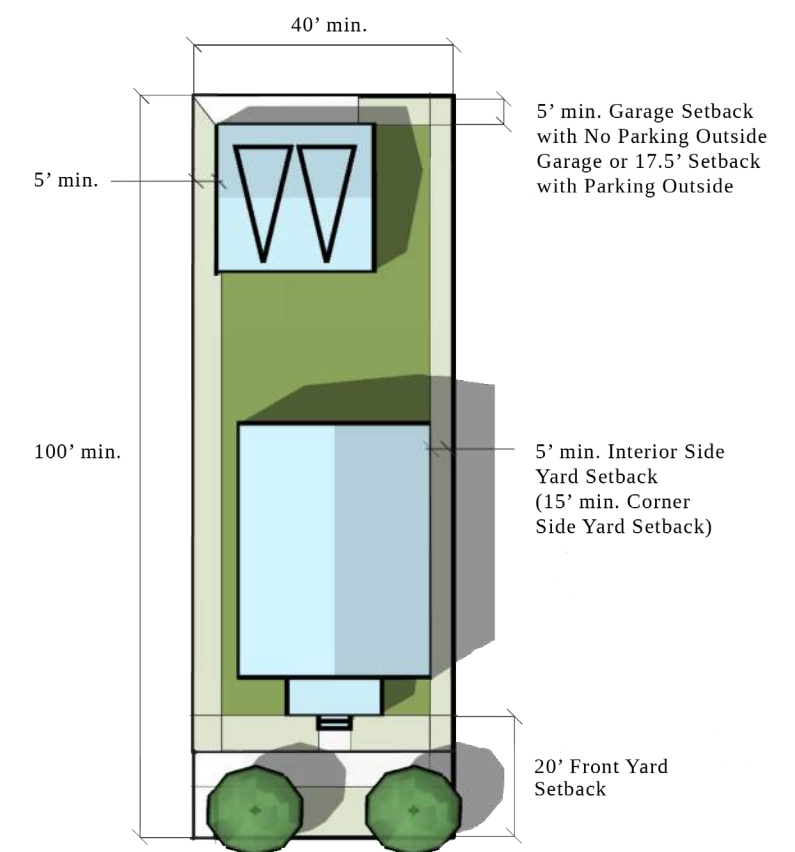
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges*

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View and Plan: Alley Drive 40' Home with Detached Garage



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50' HOME SITES: ALLEY ENTRY, ATTACHED GARAGE



Executive Homes are the most commonly used traditional lot types. These offer a moderately sized back yard.

HOUSING TYPE ELEMENTS:

Lot Area: 5,000 SF min.

Lot Width: 50' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: 15'

Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setback is required on one side and 0' on the other)

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

EXCEPTIONS TO MINIMUM SETBACK:

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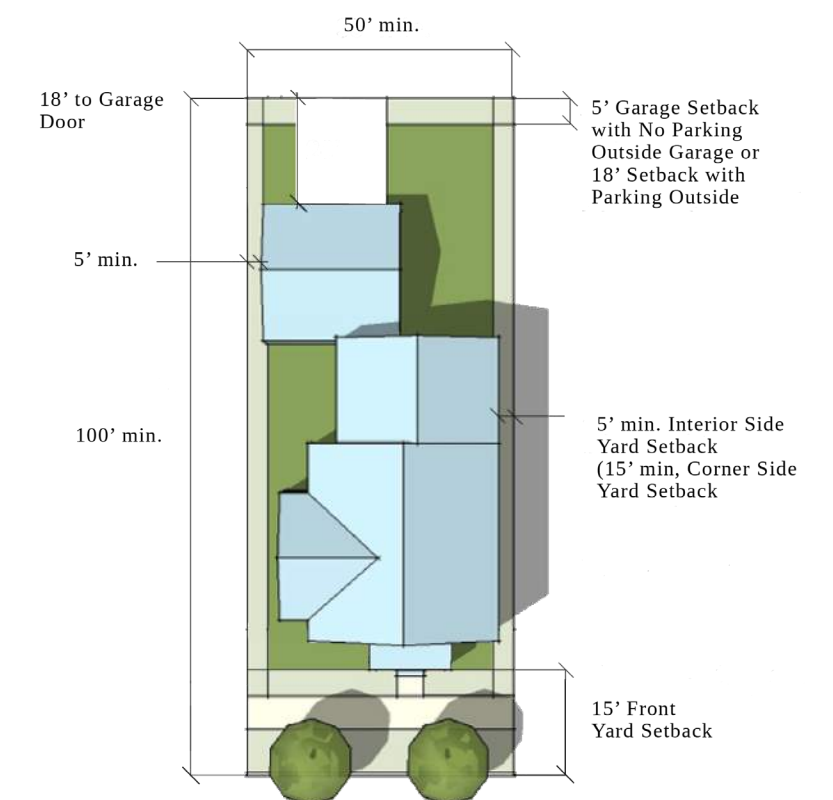
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges.*

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View and Plan: Alley Loaded 50' Home with Attached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

50' HOME SITES: ALLEY ENTRY, DETACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 5,000 SF min.

Lot Width: 50' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: 15' Back of curb

Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setback is required on one side and 0' on the other)

Minimum Corner Side Yard Setback: 15'

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

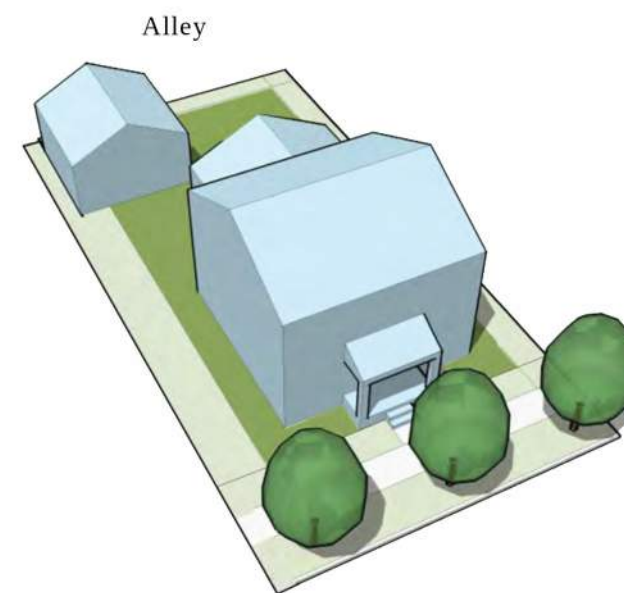
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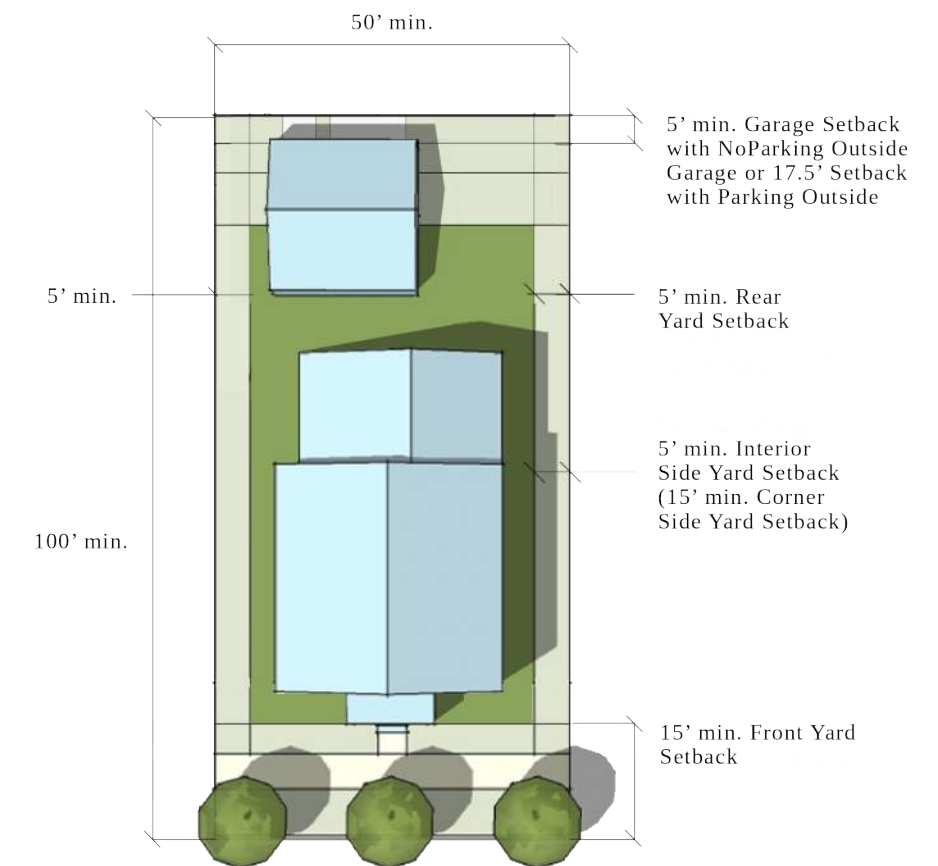
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4" - 6" are allowed for architectural details such as brick ledges*

**Subject to fire rating requirements of City of Mesquite*



View and Plan: Alley Loaded 50' Home with Detached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

50' HOME SITES: FRONT ENTRY, SIDE DRIVE

HOUSING TYPE ELEMENTS:

- Lot Area: 5,000 SF min.
- Lot Width: 50' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side drive; min. 2 spaces
- Minimum Front Yard Setback: 15' Back of curb
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Front Garage Setback for Side-Drive Lots: 18' Back of curb
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%

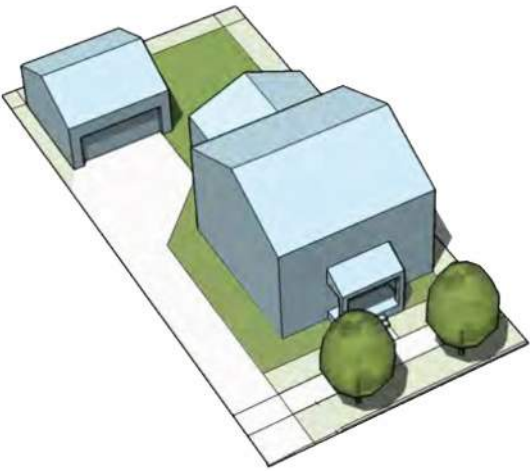
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 5' (with Village Architect approval) when greater setback would be otherwise required.*

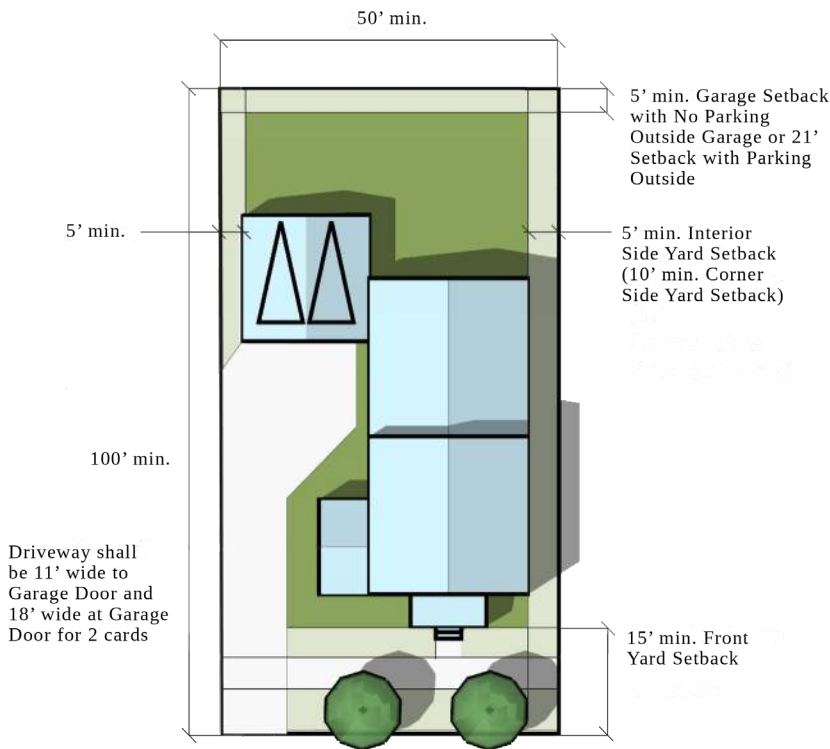
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges*

**Subject to fire rating requirements of City of Mesquite*



View and Plan: Side Drive 50' Home with Detached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

50' HOME SITES: FRONT ENTRY, FRONT DRIVE

HOUSING TYPE ELEMENTS:

Lot Area: 5,000 SF

Lot Width: 50' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 15' Back of curb

Interior Side Yard Setback: 5'

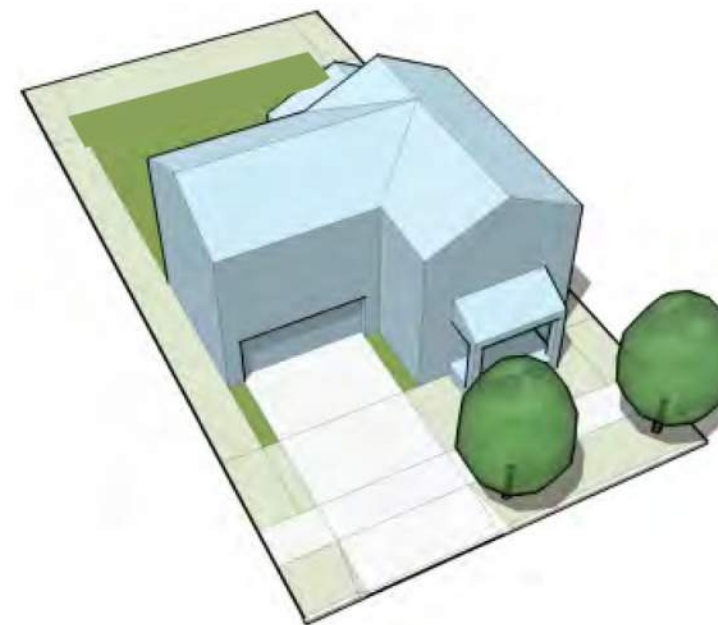
Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

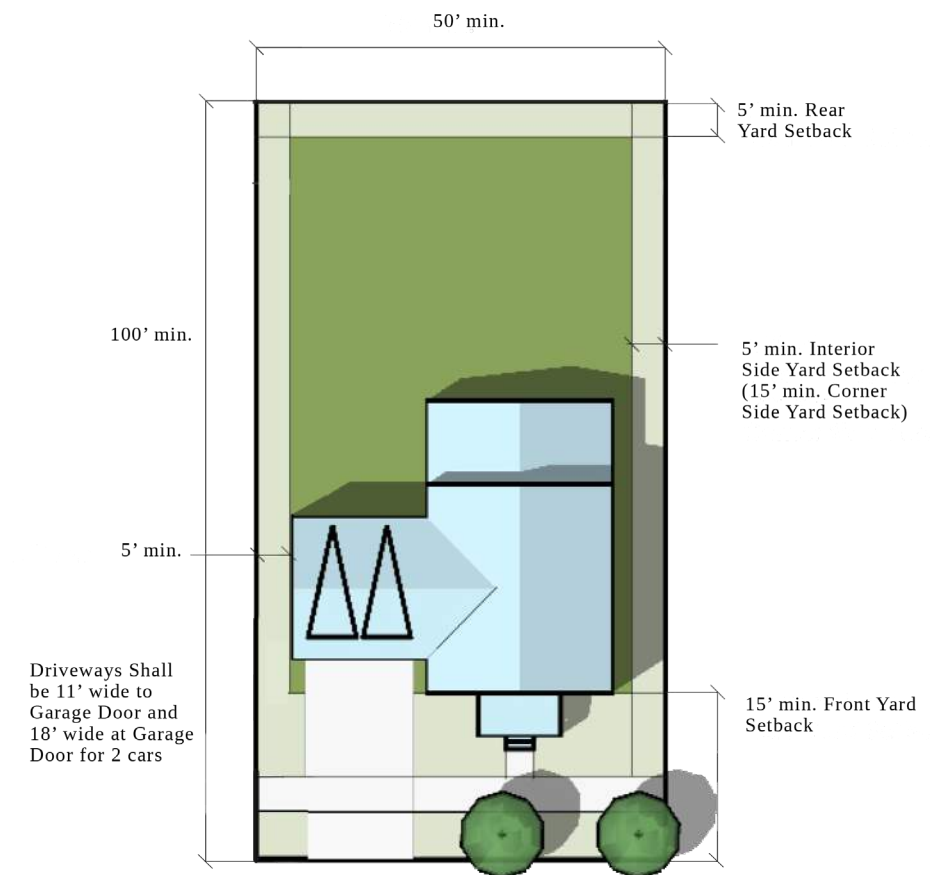
Maximum Lot Coverage: 80%

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges*



View and Plan: Front Entry 50' Home with Attached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

*Subject to fire rating requirements of City of Mesquite

55' HOME SITES: CENTER PLOTTED, FRONT ENTRY

HOUSING TYPE ELEMENTS:

Lot Area: 5,500 SF min.

Lot Width: 55' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Side drive; Front Drive, min. 2 spaces

Garage Doors: Individual Garage Doors Required

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 10' min. side setback is required on one side and 0' on the other

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 75%

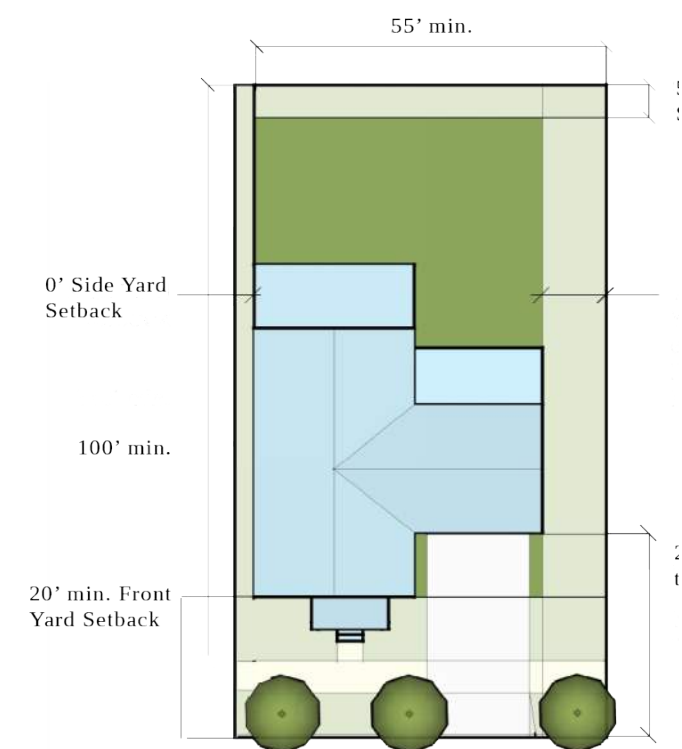
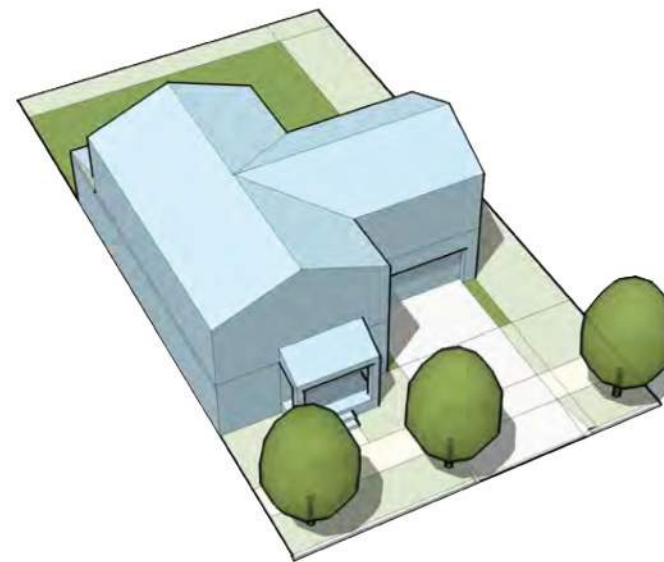
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 5' (with Village Architect approval) when greater setback would be otherwise required.*

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4" - 6" are allowed for architectural details such as brick ledges*

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Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

55' HOME SITES: FRONT ENTRY, FRONT DRIVE

HOUSING TYPE ELEMENTS:

Lot Area: 5,500 SF min.

Lot Width: 55' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Side drive; Front Drive, min. 2 spaces

Minimum Front Yard Setback: 20' Back of curb

Minimum Interior Side Yard Setback: 5'

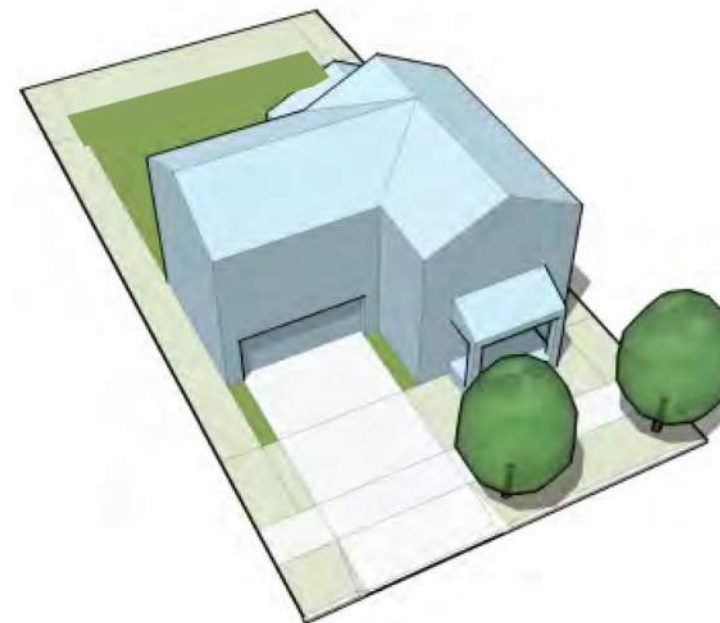
Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

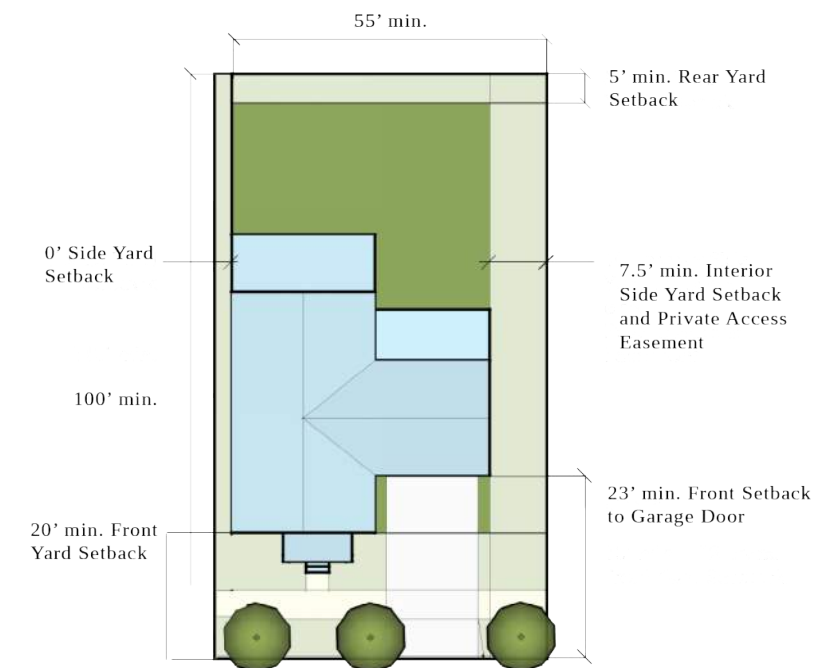
Maximum Lot Coverage: 75%

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges*



View and Plan: Front Entry 55' Home



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

**Subject to fire rating requirements of City of Mesquite*

65' HOME SITES: ALLEY ENTRY, ATTACHED OR DETACHED GARAGE



HOUSING TYPE ELEMENTS:

Lot Area: 6,500 SF min.

Lot Width: 65' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20' back of curb

Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' back of curb

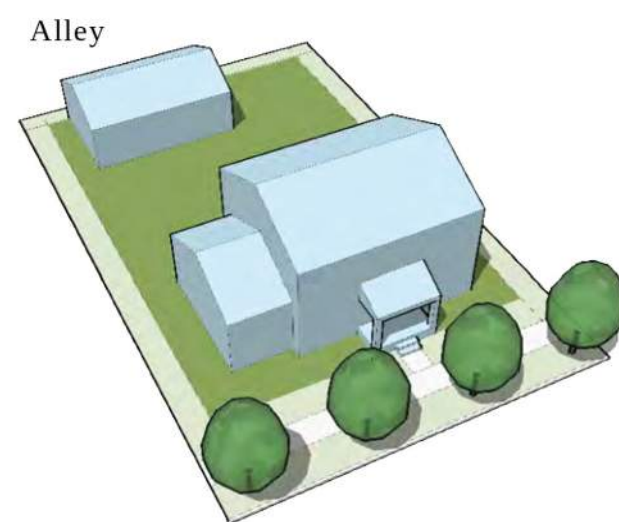
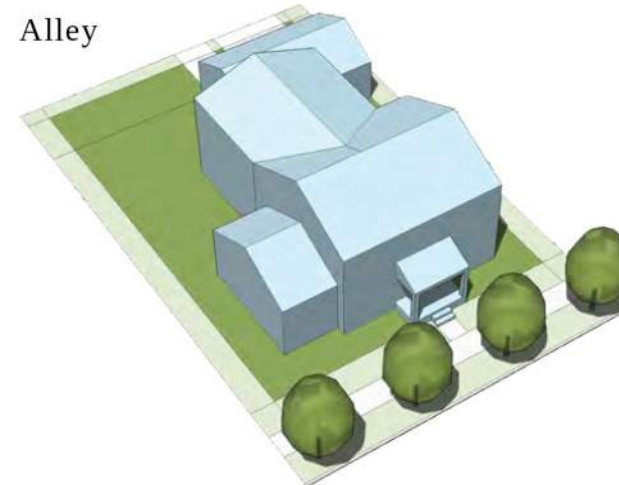
Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 75%

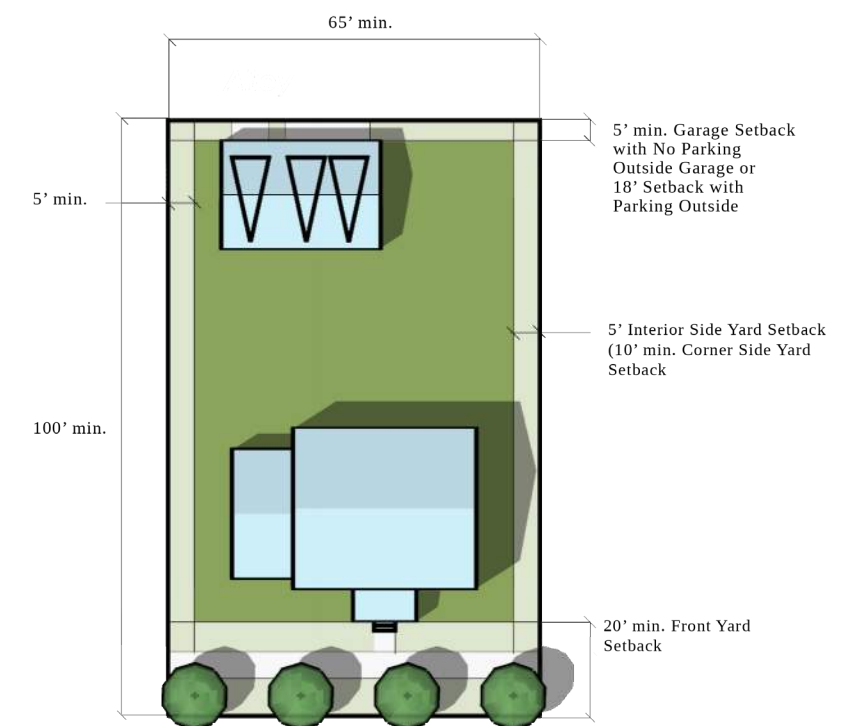
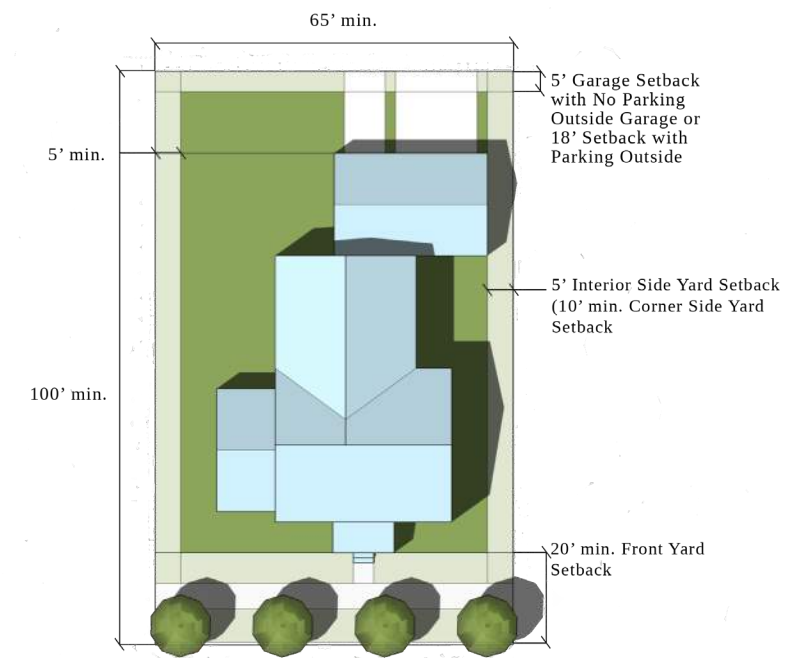
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)*
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)*
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges*

**Subject to fire rating requirements of City of Mesquite*



View and Plan: Alley Loaded 65' Home



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

65' HOME SITES: FRONT ENTRY, SIDE ENTRY ATTACHED OR DETACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 6,500 SF min.

Lot Width: 65' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Side drive; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20' Back of curb

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15'

Minimum Rear Yard Setback: 5'

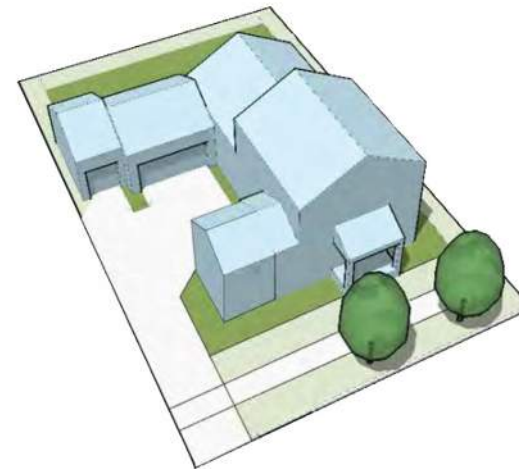
Maximum Lot Coverage: 75%

ALLOWED ENCROACHMENTS INTO SETBACK:

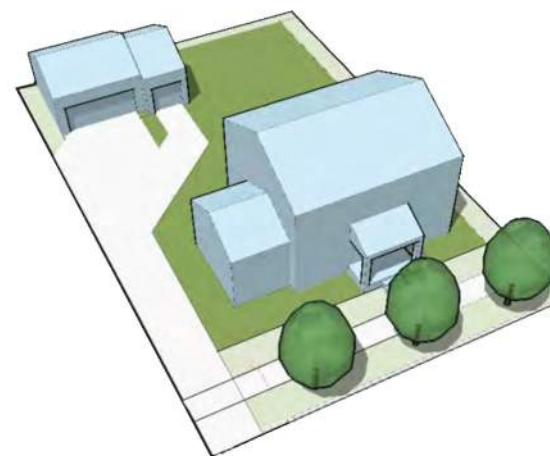
- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)*
- Bay windows (up to 4' into front and rear setbacks)*
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges*

**Subject to fire rating requirements of City of Mesquite*

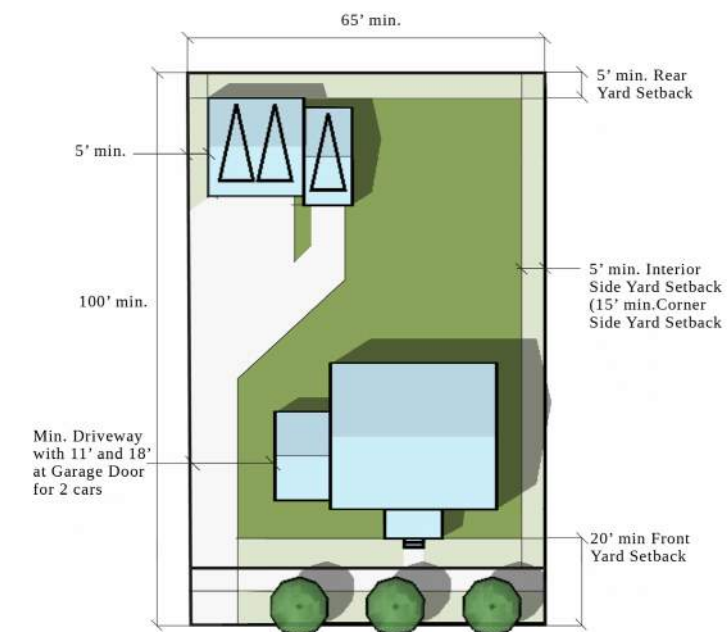
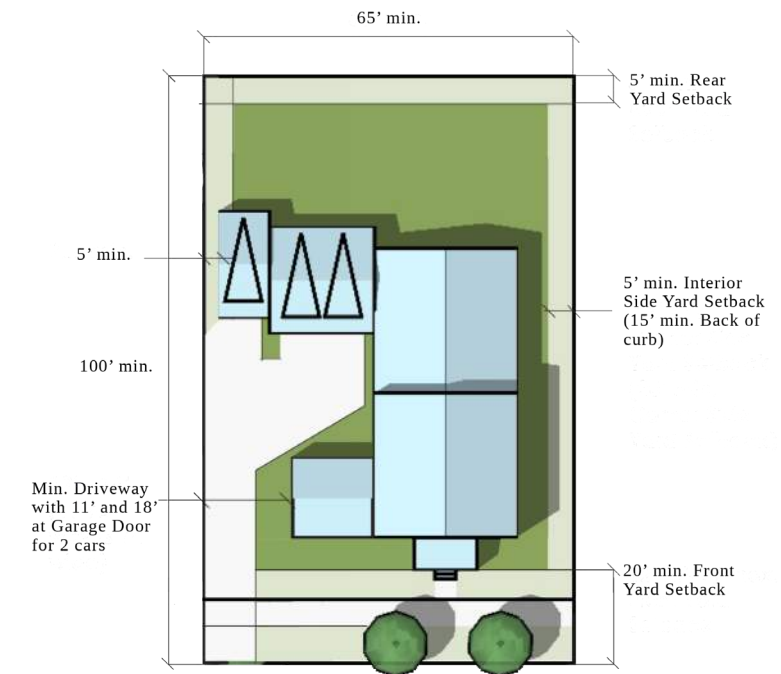
All side drives must be located a minimum of 1' off of property line



View and Plan: Side Drive 65' Homes with Attached Garage



View and Plan: Side Drive 65' Homes with Detached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

65' HOME SITES: FRONT ENTRY, SIDE GARAGE

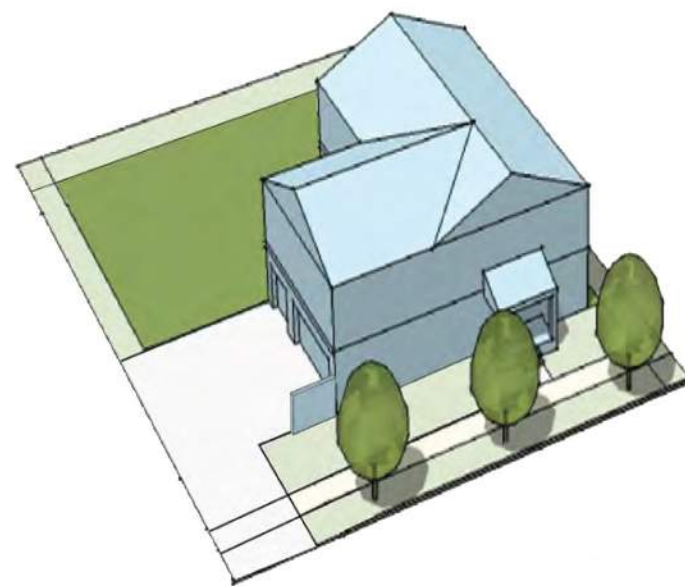
HOUSING TYPE ELEMENTS:

- Lot Area: 6,500 SF min.
- Lot Width: 65' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side loaded; min. 2 spaces; 3 allowed
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' back of curb
- Minimum Front Garage Setback for Side-Entry Lots: 22'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%

ALLOWED ENCROACHMENTS INTO SETBACK:

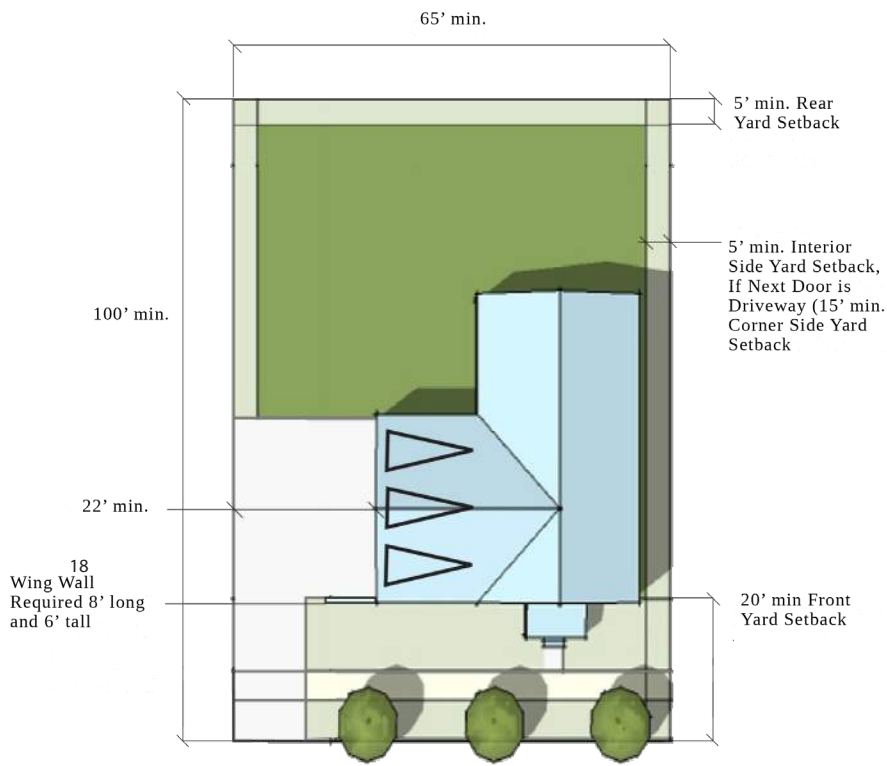
- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)*
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)*
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges*

*Subject to fire rating requirements of City of Mesquite



View and Plan: Side Loaded 65' Home

All side drives must be located a minimum of 1' off property line



Plan: Side Loaded 65' Home

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

65' HOME SITES: FRONT ENTRY, ATTACHED OR DETACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 6,500 SF min.

Lot Width: 65' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Front loaded; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' back of curb

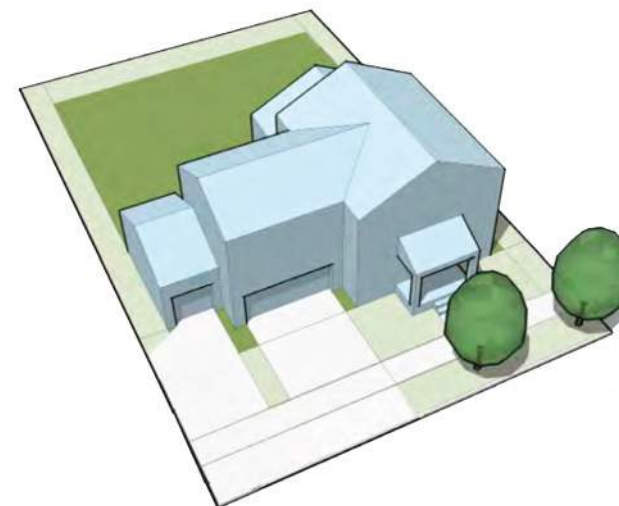
Minimum Front Garage Setback for Front Loaded Lots: 3' behind house with upgrades

Minimum Rear Yard Setback: 5'

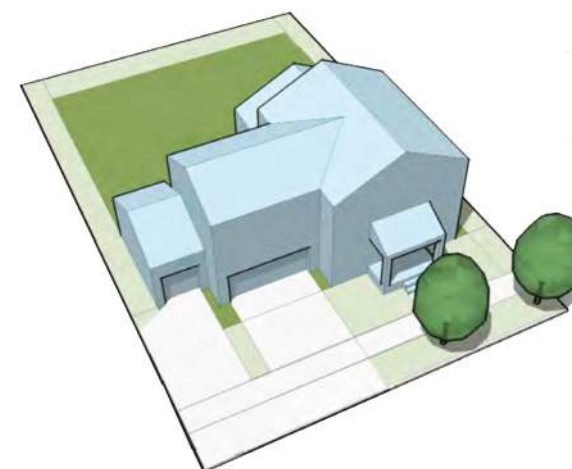
Maximum Lot Coverage: 75%

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)*
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)*
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges*

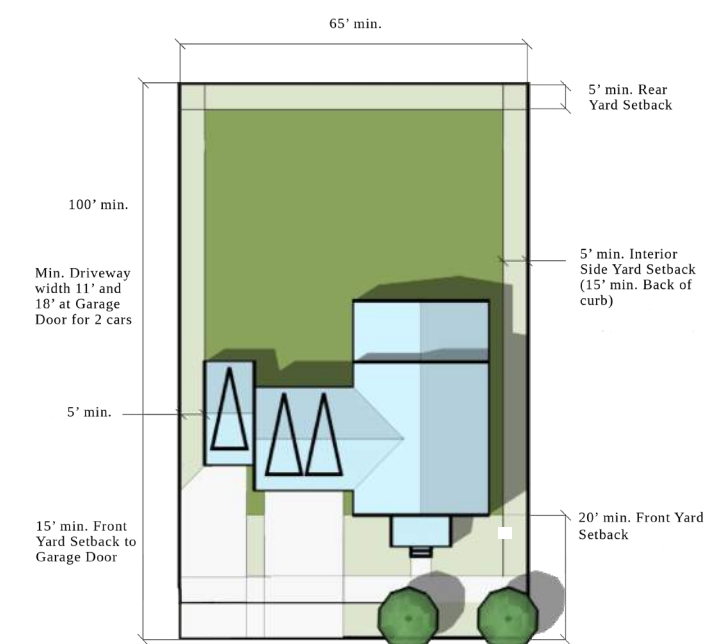
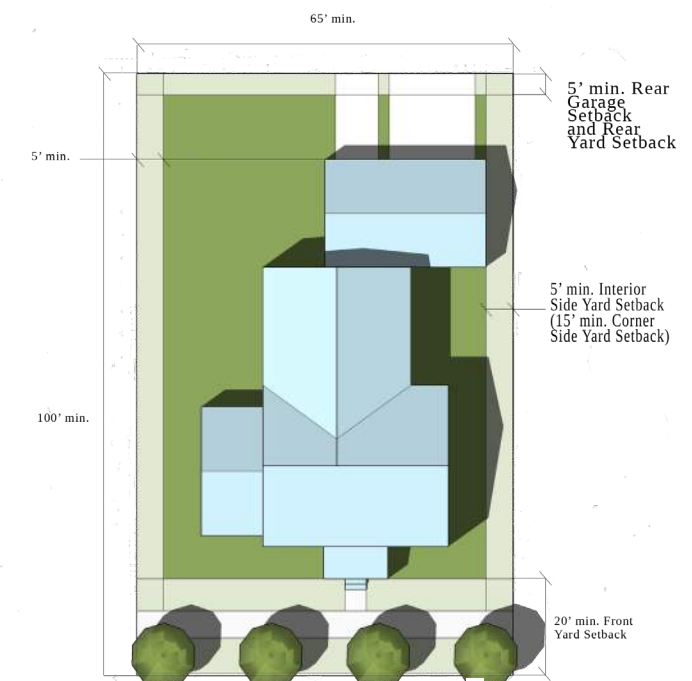


All side drives must be located a minimum of 1' off property line



View and Plan: Front Loaded 65' Home

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



*Subject to fire rating requirements of City of Mesquite

75' HOME SITES: ALLEY ENTRY, ATTACHED OR DETACHED GARAGE



HOUSING TYPE ELEMENTS:

Lot Area: 7,500 SF min.

Lot Width: 75' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Side loaded; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' back of curb

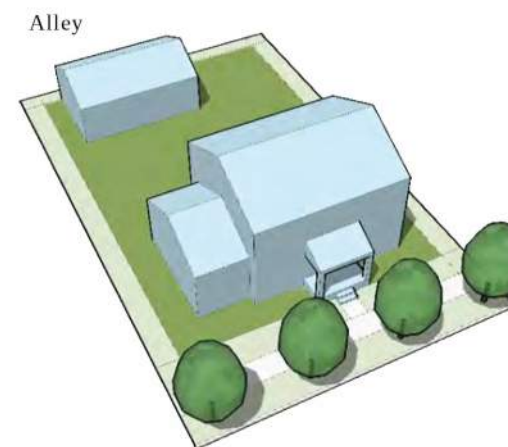
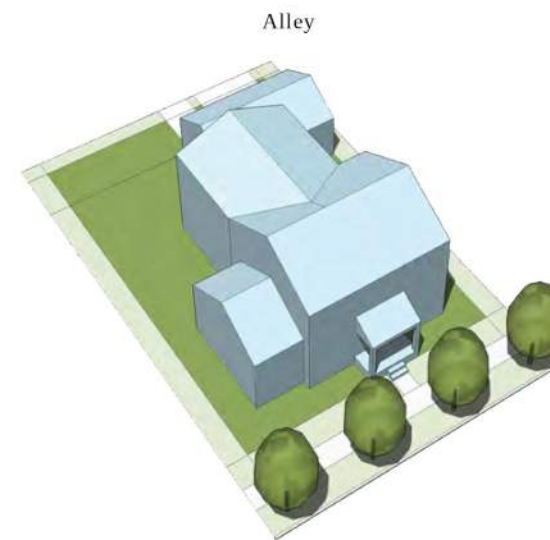
Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 75%

ALLOWED ENCROACHMENTS INTO SETBACK:

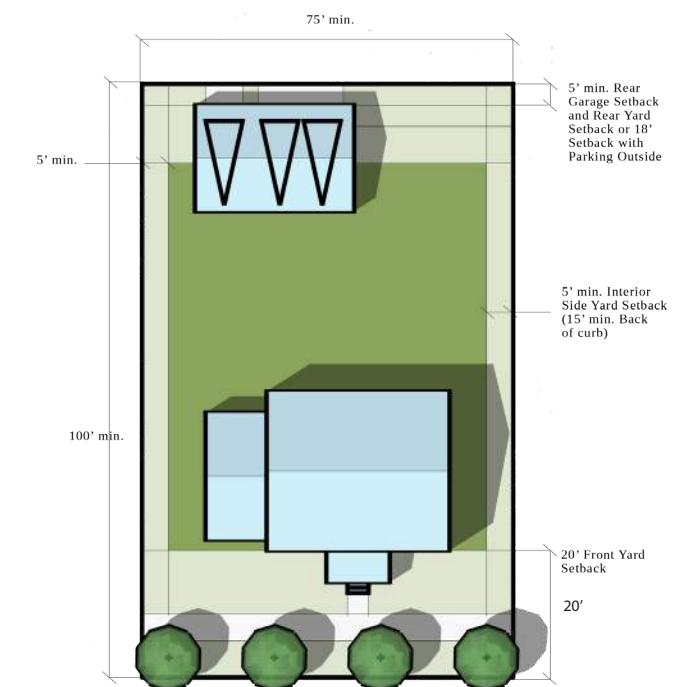
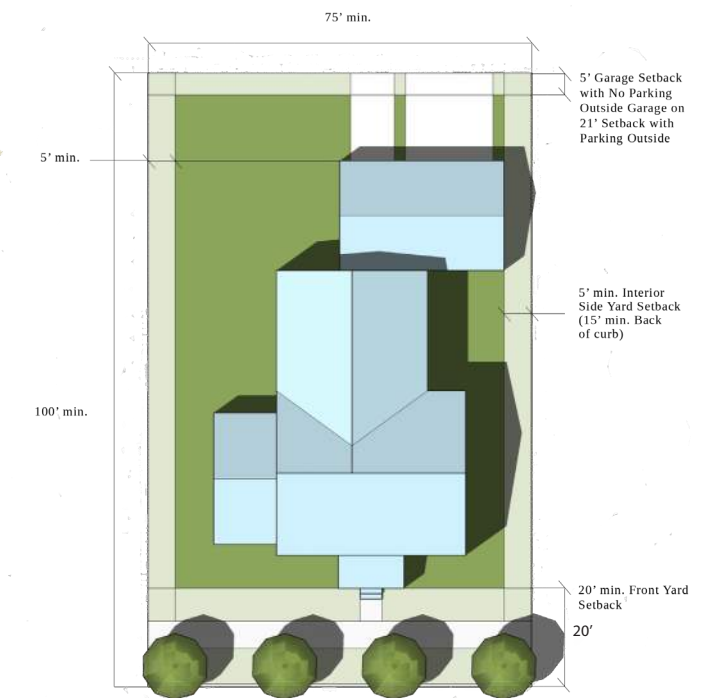
- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)*
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges*

**Subject to fire rating requirements of City of Mesquite*



View and Plan: Alley Loaded 75' Home

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



75' HOME SITES: SIDE ENTRY, ATTACHED OR DETACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 7,500 SF

Lot Width: 75' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Side drive; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' back of curb

Minimum Front Garage Setback for Side-Entry Lots: 25'

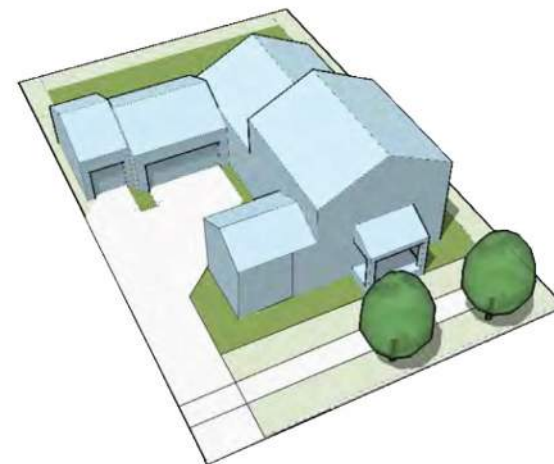
Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 75%

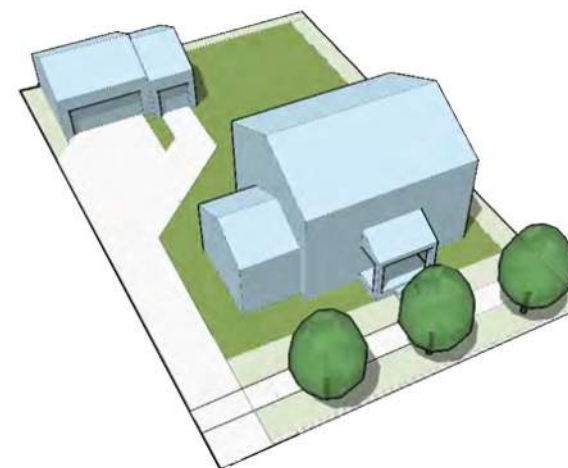
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)*
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges*

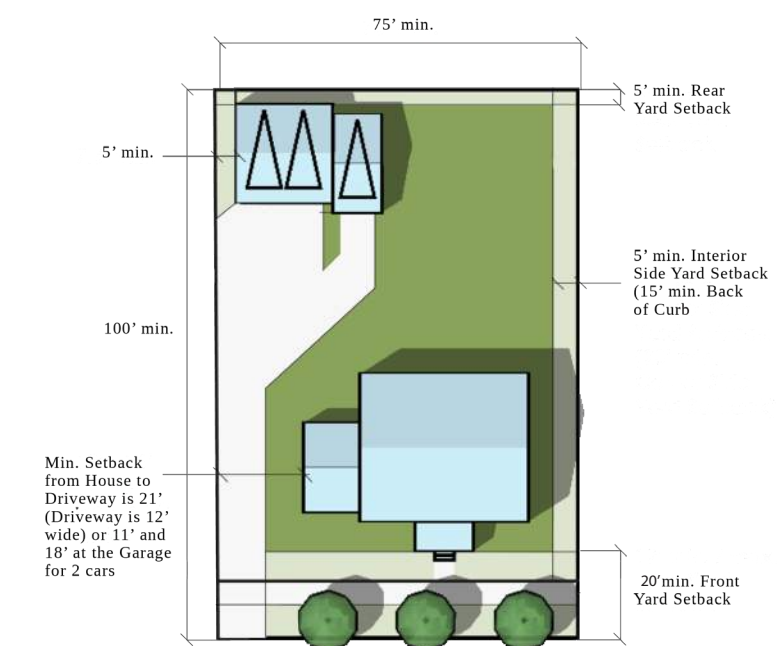
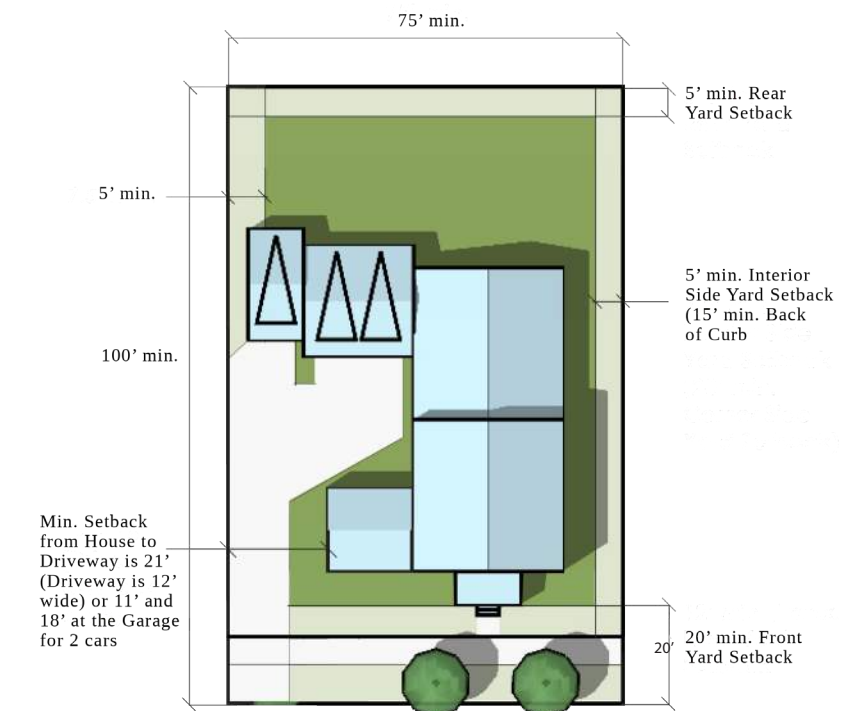
**Subject to fire rating requirements of City of Mesquite*



View and Plan: Side Drive 75' Home with Attached Garage



View and Plan: Side Drive 75' Home with Detached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

75' HOME SITES: SIDE ENTRY, ATTACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 7,500 SF

Lot Width: 75' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Side loaded; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' back of curb

Minimum Front Garage Setback for Side-Entry Lots: 25'

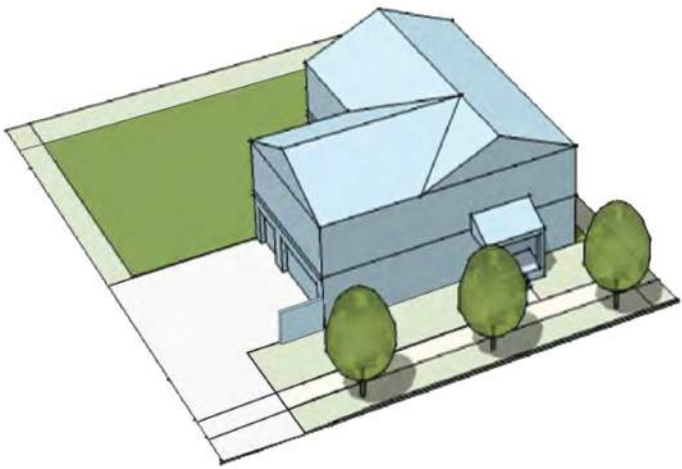
Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 75%

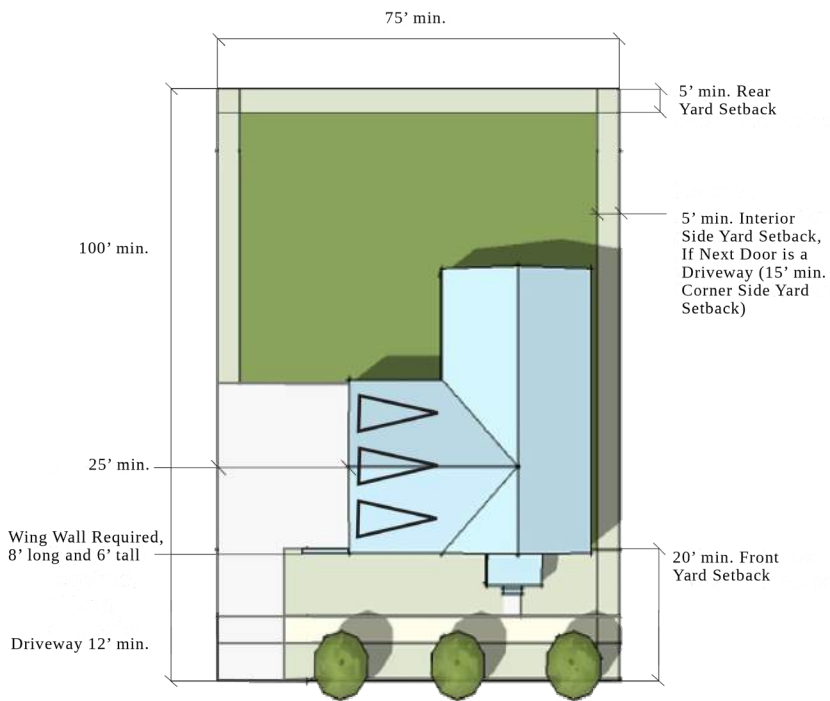
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)*
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4" - 6" are allowed for architectural details such as brick ledges*

**Subject to fire rating requirements of City of Mesquite*



View and Plan: Side Loaded Chateau Home



All side drives must be located a minimum of 1' off property line

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

75' HOME SITES: FRONT ENTRY, ATTACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 7,500 SF min.

Lot Width: 75' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Front loaded; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' back of curb

Minimum Front Garage Setback: 25'

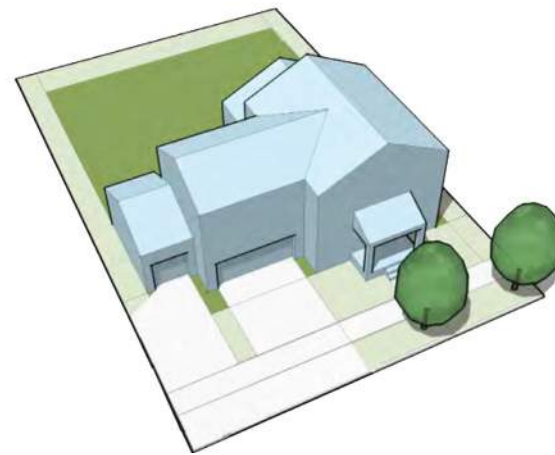
Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 75%

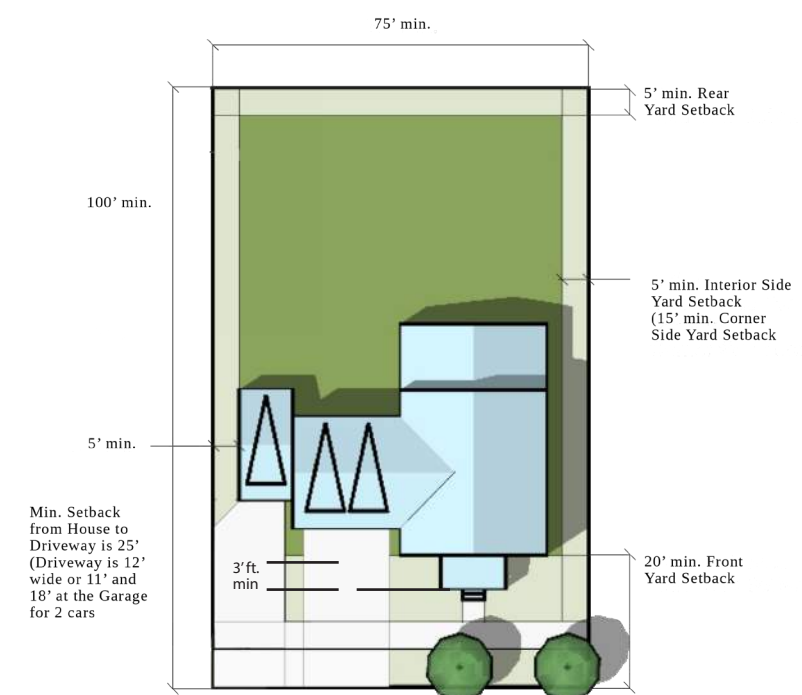
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)*
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges*

*Subject to fire rating requirements of City of Mesquite



View and Plan: Front Loaded 75' Home



All side drives must be located a minimum of 1' off property line

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

80' HOME SITES: ALLEY ENTRY, ATTACHED OR DETACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 10,400 SF

Lot Width: 80' min.

Lot Depth: 130' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 3 spaces

Minimum Front Yard Setback: 24' back of curb

Minimum Interior Side Yard Setback: 7.5'

Minimum Corner Side Yard Setback: 15'

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 75%

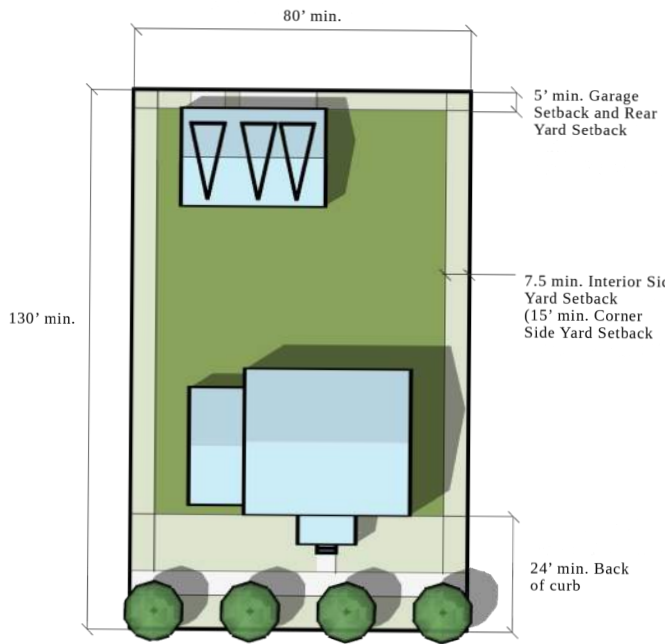
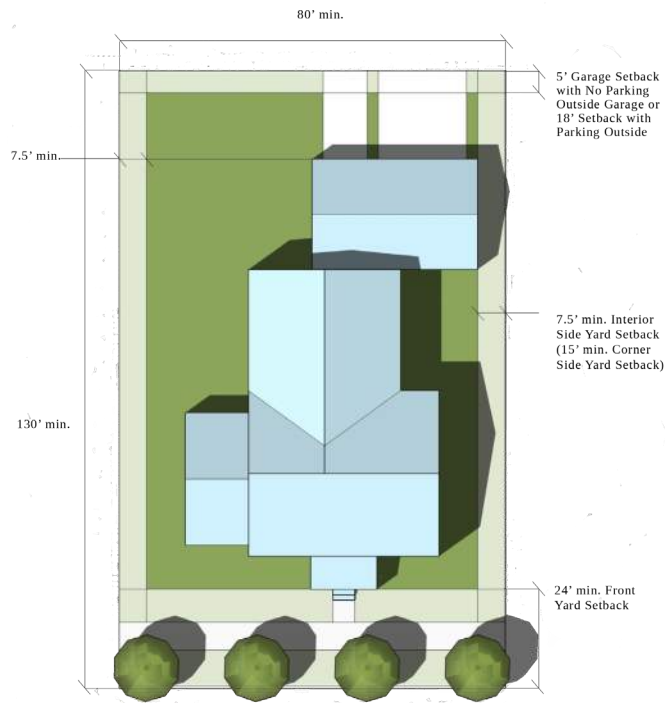
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 3' into all setbacks)*
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4" - 6" are allowed for architectural details such as brick ledges.*
- Variance to side yard setback may be permitted with Village Architect approval
- Driveways only may be located within 1' of the property line

**Subject to fire rating requirements of City of Mesquite*



View and Plan: Alley Loaded 80' Home



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

80' HOME SITES: FRONT ENTRY, ATTACHED OR DETACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 10,400 SF

Lot Width: 80' min.

Lot Depth: 130' min.

Maximum Number of Stories: 3

Garage Orientation: Side drive; min. 3 spaces

Minimum Front Yard Setback: 24'

Maximum Interior Side Yard Setback: 7.5'

Minimum Corner Side Yard Setback: 15' back of curb

Minimum Front Garage Setback for Side-drive Lots: 40'

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 75%

Minimum Dwelling Unit Size: 3,500 SF

Maximum Dwelling Unit Size: none

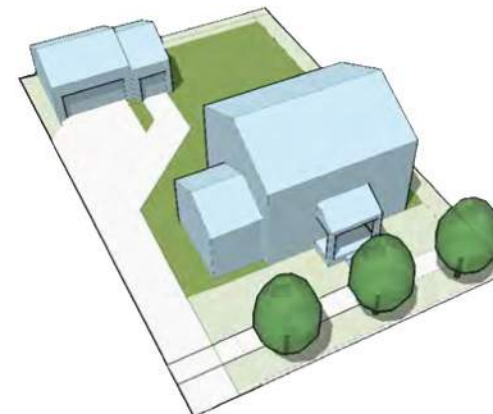
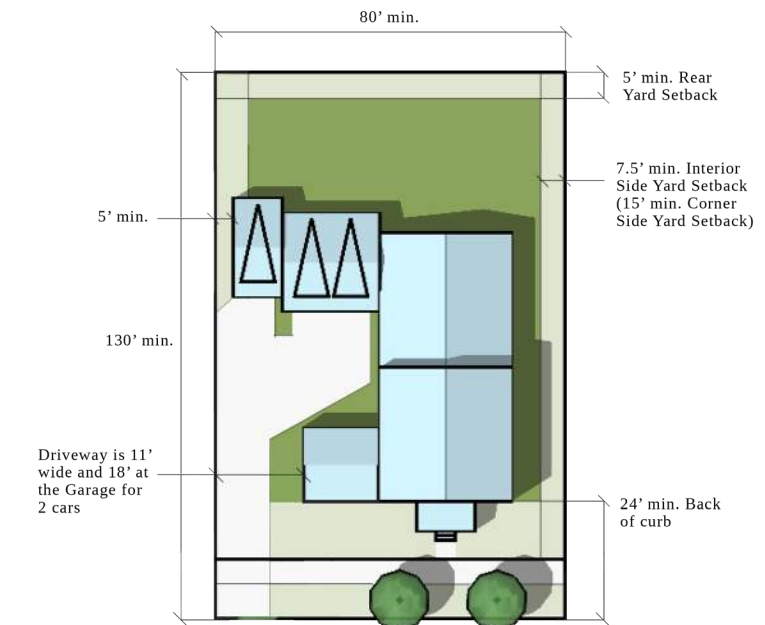
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)*
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges.*
- Variance to side yard setback may be permitted with Village Architect approval
- Driveways only may be located within 1' of the property line

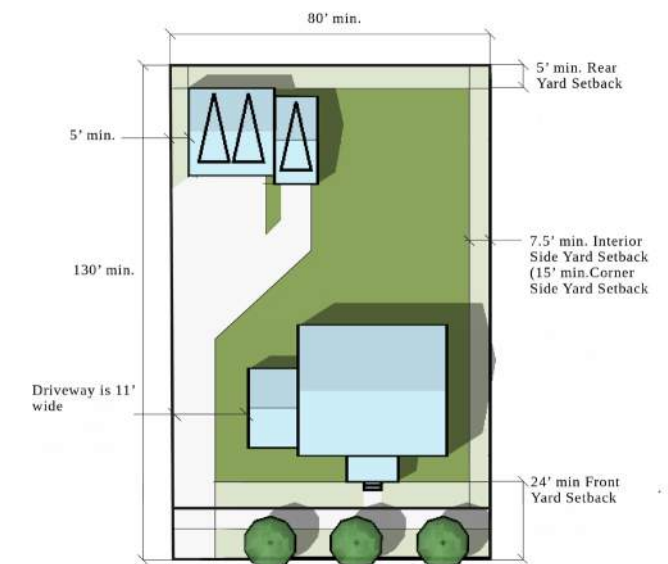
**Subject to fire rating requirements of City of Mesquite*



View and Plan: Side Drive 80' Home with Attached Garage



View and Plan: Side Drive 80' Home with Detached Garage



80' HOME SITES: SIDE ENTRY, ATTACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 10,400 SF

Lot Width: 80' min.

Lot Depth: 130' min.

Maximum Number of Stories: 3

Garage Orientation: Side loaded; min. 3 spaces

Maximum Front Yard Setback: 24'

Maximum Front Yard Setback: 25'

Minimum Interior Side Yard Setback: 7.5'

Minimum Corner Side Yard Setback: 15' back of curb

Minimum Front Garage Setback for Side-drive Lots: 23'; 40' for Porte Cochere Lots

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 75%

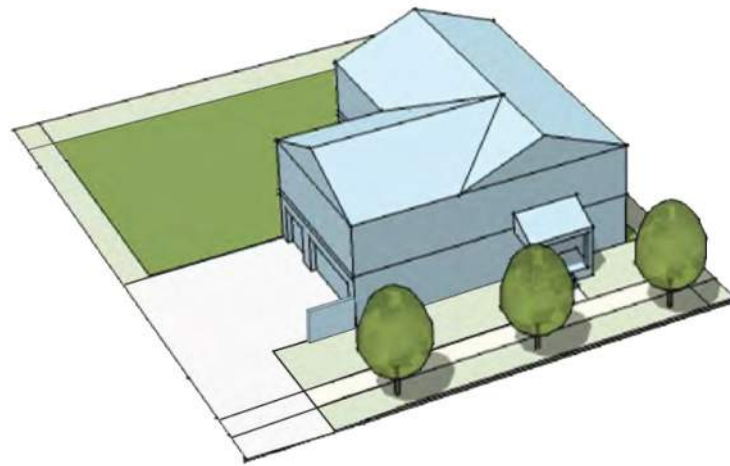
Minimum Dwelling Unit Size: 3,500 SF

Maximum Dwelling Unit Size: none

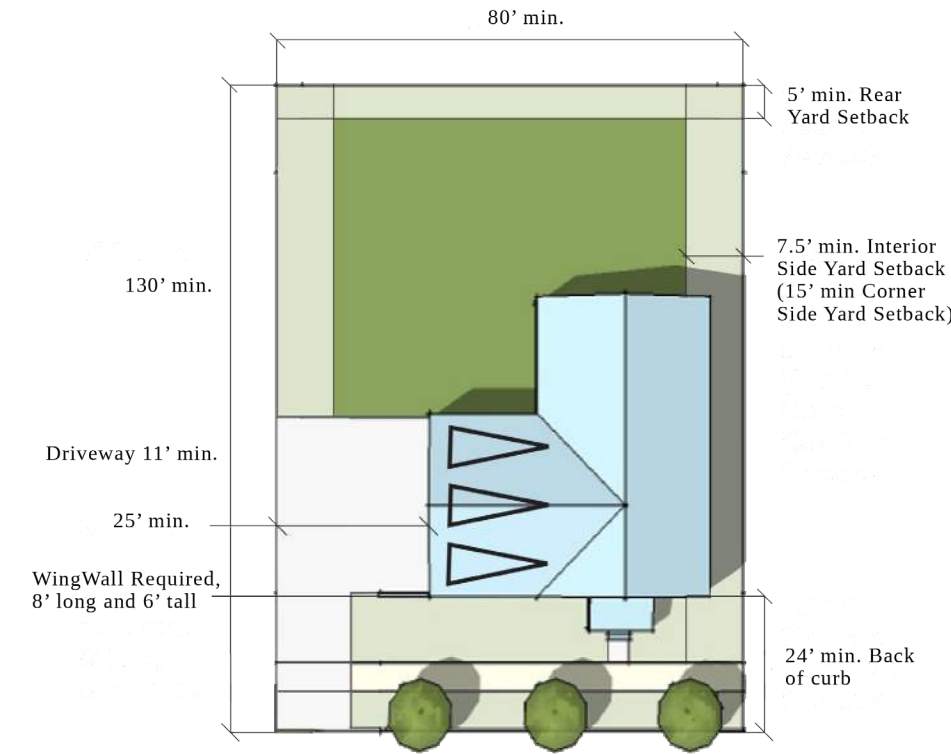
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 7' into front setback and 3' corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)*
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges*
- Variance to side yard setback may be permitted with Village Architect approval
- Driveways only may be located within 1' of the property line

**Subject to fire rating requirements of City of Mesquite*



View and Plan: Side Loaded 80' Home



All side drives must be located a minimum of 1' off property line

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements